

REQUEST FOR CONDITIONAL USE (SPECIAL EXCEPTION)

APPLICATION

Name of Applicant: Highway 328, LLC

Property Address: located on/adjacent to and South of MS Hwy 328, West of MS Hwy 7, and East of CR 321

Phone Number: (662) 816-2700 Email Address: jw@mrconstructionoxford.com

Current Zoning District: A-1: Rural District

(Please circle YES or NO)

DOES THE PROPERTY HAVE RESTRICTIVE COVENANTS? YES NO

(If YES, please attach a copy of restrictive covenants)

HAS THERE BEEN A PREVIOUS REQUEST FOR ANY ZONING ACTIONS AT THIS PROPERTY BEFORE?

YES NO (If YES, please attach a copy of all decisions made by the Planning Commission and Board of Supervisors)

Requirements of Applicant:

1. Letter stating reason for conditional use
2. Copy of the written legal description
3. Site plan of property

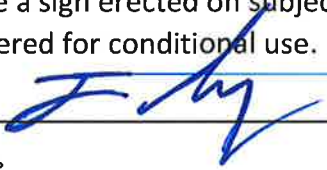
Requirements for Granting a Conditional Use Permit: (Section 2405.01- Zoning Ordinance)

A. Ingress and egress to property and proposed structures thereon with particular reference to vehicular and pedestrian safety and convenience, traffic flow and control, and access in case of fire or catastrophe. **B.** Off-street parking and loading areas. **C.** Refuse and service areas. **D.** Utilities, with reference to locations, availability, and compatibility. **E.** Screening and buffering with reference to type, dimensions, and character. **F.** Required yards and other open space. **G.** General compatibility with adjacent properties and other property in the district. **H.** Any other provisions deemed applicable by the Board of Supervisors.

Applicant shall be present at the Planning Commission meeting. Documents shall be submitted thirty (30) days prior to the Planning Commission meeting. **Applicant is responsible for complying with all applicable requirements of the Zoning Ordinance.**

By signing this application, it is understood that permission is given to the Zoning Administrator to have a sign erected on subject property, given notice to the public that said property is being considered for conditional use.

Signature



Date

5/15/2026



GRANBERRY & ASSOCIATES
CIVIL ENGINEERING FIRM

1686 Padington Park Lane, Germantown, TN 38138
(662) 312-9672

May 15, 2026

Joel Hollowell
Lafayette County Planning/Building Department
300 North Lamar
Oxford, MS 38655

RE: CONDITIONAL USE LETTER REQUEST
18.72-Acre Property Located on MS Hwy 328
(Parcel ID#: 189-29-002.04)
Lafayette County, MS

Dear Joel:

On behalf of Highway 328, LLC, we are submitting the attached Request for Conditional Use Application for an 18.72-acre parcel of land owned by Highway 328, LLC and has the Parcel ID#: 189-29-002.04. The property is more specifically located on MS Hwy 328, on the south side of the road, West of MS Hwy 7, and East of CR 321 in Lafayette County.

According to Lafayette County's Zoning Map, the property is currently zoned A-1: Rural District. We are requesting a Conditional Use permit to subdivide the property. The entire property is located in a Special Flood Hazard Area (Zone "A") and is subject to inundation by the 100-yr flood, according to FEMA. The current development plan is to perform grading on the site to raise the elevation of a portion of Lot 1 such that the potential future "pad" area will meet Lafayette County's Flood Damage Prevention Ordinance. The pad area will be located on Lot 1 and the dimension of the pad will depend on potential future development, geometry of the lot, and natural geographic features of the lot. Grading on Lot 2 will not be performed at this time and will be developed at some point in the future.

The requirements for granting a Conditional Use Permit, as defined by the Lafayette County Zoning Ordinance, and our conformance with those requirements are as follows:

- A. Ingress and egress to property and proposed structures thereon with particular reference to vehicular and pedestrian safety and convenience, traffic flow and control, and access in case of fire or catastrophe.*
 - Ingress and egress shall be provided to the site by connecting directly to MS Hwy 328. This proposed driveway connection is part of a shared connection/small frontage road for the Yocona Rise Subdivision. The access drive will be of sufficient width and alignment (vertical and horizontal) to provide necessary emergency vehicular access as required by Lafayette County and the International Fire Code and all necessary MDOT permits will be obtained and the driveway/frontage road connection will conform to MDOT and Lafayette County Standards.

B. Off-street parking and loading areas.

- Since each individual lot will be developed in the future and in accordance with the Lafayette County development requirements, off-street parking and loading will be addressed at the time of Site Plan submittal and be located on each individual lot.

C. Refuse and service areas.

- Storage, collection and handling of all refuse will be the responsibility of each individual lot owner and shall be located on each individual lot and shall conform to the screening and location requirements of Lafayette County and to the requirements set forth by the garbage collection services provider.

D. Utilities, with reference to locations, availability, and compatibility.

- Water supply will be provided by the City of Oxford, and Letter of Intent to Serve from the City will be submitted with each site plan submittal. (the City will need estimated water demand and will be provided at the time of lot development).
- Sanitary sewer treatment shall be handled with Individual Onsite Wastewater Disposal Systems (IOWDS) and the area and type of system will be dependent upon the soil, topography, and use of the individual lot. At the time of individual lot/site plan design/development, all necessary MSDH permits will be acquired and the IOWTS shall be installed according to the approved permits.

E. Screening and buffering with reference to type, dimensions, and character.

- The property borders MS Hwy 328 along the north side of the property and no buffer is required.
- The property borders A-1: Rural district zoned property on the east, west, and to the south. However, the adjacent property to the west is a Lot #3 of the Hwy 328 Subdivision and a Conditional Use for a wholesale landscape supply with outdoor storage business was approved earlier this year and is in the process of being constructed. The property to the east is currently row crop, agricultural property and the property to the south is located across the Yocona River and is also row crop, agricultural property.
- The screening and buffering on all 3 sides (west, east, and south) shall have a 40' width minimum landscaped buffer with a minimum height of 6 feet. The southern border is the Yocona River and it creates a natural boundary and buffer between the two properties, and the eastern and western border and adjacent to the eastern and western property lines, also contains a natural boundary and buffer in the form of vegetative and tree lined drainage ditches. In areas along the south, eastern, and western property lines where the existing, vegetated buffer is not sufficient, supplemental vegetation and/or screening will be proposed.

F. Required yards and other open space.

- The front yard setback shall be thirty (30) feet, the side yard setbacks shall be ten (10) feet (except where a larger side yard is required to meet buffer yard requirements), and rear yard setbacks shall have a setback of ten (10) feet. All other open areas that do not include any impervious surface will be appropriately landscaped and meet the requirements of Lafayette County Zoning Ordinance.

- The setbacks and yards on each individual lot will be dependent on the use of said lot and will be indicated on future development plans of each site plan.

G. *General compatibility with adjacent properties and other property in the district.*

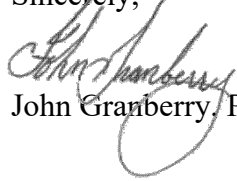
- The property immediately adjacent to our site on the west (Lot #3 of Highway 328 Subdivision) and the property approximately 800' to the east of the site are existing commercial use sites on parcels of property similar in size to the size lots that we are proposing to subdivide. Although we do not know the uses that will be proposed/developed on both lots, we anticipate the same/similar type of commercial uses to be constructed.
- In Highway 328 Subdivision, Lot #2, Lot #1, and property adjacent to Lot #1 of Hwy 328 Subdivision (located to our west) along with properties located approximately 800' to the east of our site are existing commercial use sites on parcels of property similar in size to the size of this lot.
- Other properties in the area are agricultural and have not been developed. The past lack of utility infrastructure has played a major factor in the lack of development in the area. However, with the recent City expansion of the water certificated area and the widening of MS Hwy 7, development will assuredly follow.

H. *Any other provisions deemed applicable by the Board of Supervisors.*

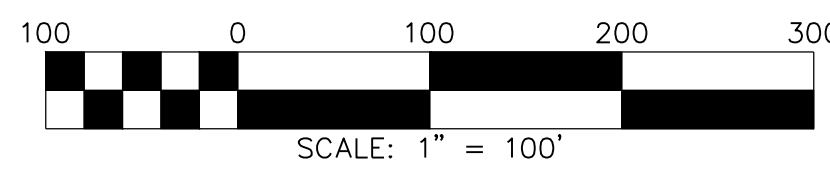
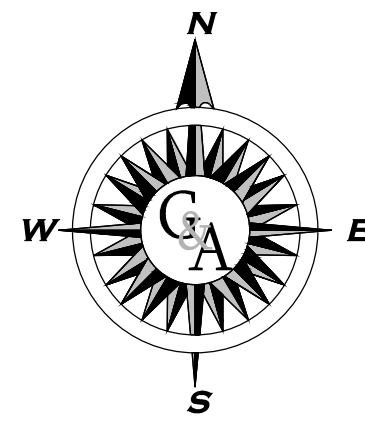
- We believe that the following additional factors should be considered by the Board of Supervisors:
 - o *Location of the property on/adjacent to MS Hwy 328 and proximity to MS Hwy 7, a major arterial roadway.* As development occurs throughout the County, a major goal of the County is to preserve and protect the existing roadway infrastructure of local County roads. With direct access to MS Hwy 328 and then MS Hwy 7, the traffic generated by this development would have minimal impact on the County's existing road system.
 - o *The expansion of the City of Oxford's water infrastructure and Water Certificated Area.* The City of Oxford is in the process of completing the expansion of its certificated area to the property and water infrastructure has already been extended to the property. The expanded area will encompass this property and a large portion of the surrounding properties and also provides other properties in the area access to necessary water infrastructure to promote development.
 - o *The development of Hwy 328 Subdivision.* The Conditional Use Permit and subdivision, and individual Conditional Use Permits and development of all lots within Hwy 328 Subdivision has also contributed to change the character of the surrounding area from an existing rural, agricultural area to a more commercialized and developed area.
 - o *The current demand and lack of inventory for large, commercial/industrial lots in Lafayette County.* With the City of Oxford and Lafayette County experiencing exponential growth and development, the demand for supporting commercial business development and expansion is outpacing the current supply causing a need for commercial/industrial development parcels in the County.

We understand that this Conditional Use Permit in no way is approval of a Site Plan, a subdivision plat, or allows for any construction activities to take place on the property. If approved for the Conditional Use, development of the property will follow all applicable Lafayette County Ordinances and Regulations. If any other information is needed, please do not hesitate to contact me.

Sincerely,

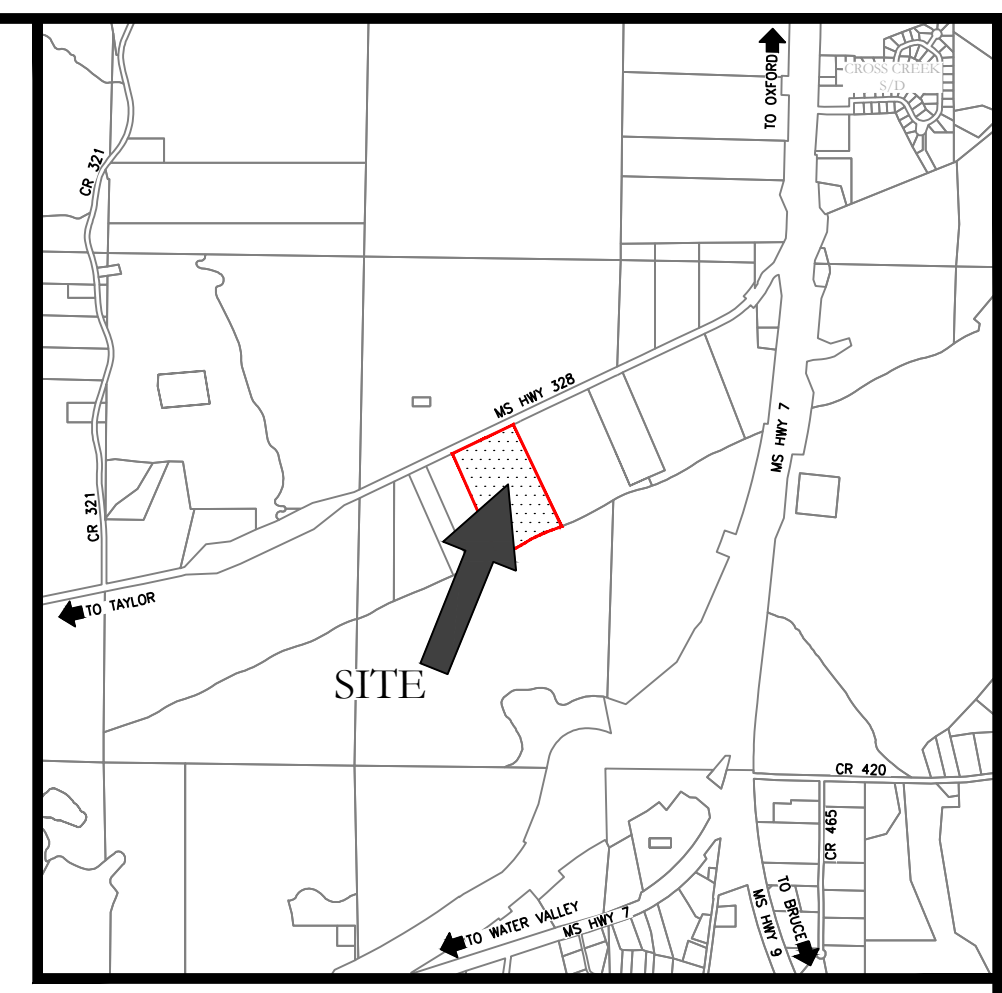
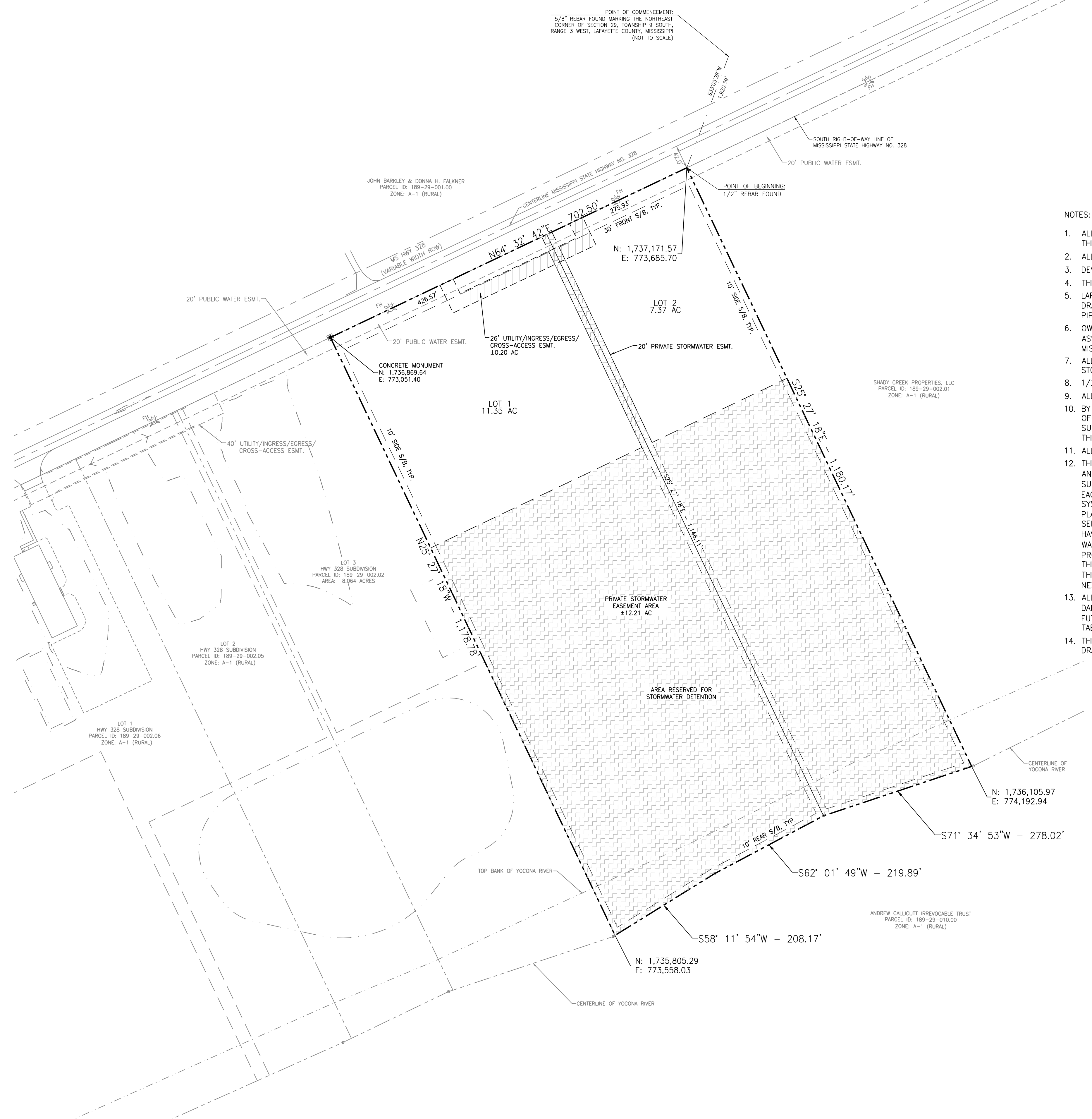
A handwritten signature in cursive script, appearing to read "John Granberry".

John Granberry, P.E.



LEGEND

- THESE STANDARD SYMBOLS MAY BE FOUND IN THE DRAWING
- PROPERTY CORNERS
 - IRON PIPE/PIN
 - CONCRETE MONUMENT
 - PROPERTY BOUNDARY LINE
 - LOT LINE
 - SETBACK / BUILD-TO LINE
 - ADJACENT PROPERTY LINE
 - ▨ PRIVATE STORMWATER EASEMENT
 - ▤ PUBLIC WATER EASEMENT
 - ▧ UTILITY/INGRESS/EGRESS/CROSS-ACCESS EASEMENT



VICINITY MAP
1" = 2,000'

NOTES:

1. ALL SIDE AND REAR YARD SWALES ARE TO ACT AS DRAINAGE WAYS. THEY ARE PRIVATE AND ARE TO BE MAINTAINED BY THE LOT OWNER. THEY ARE SUBJECT TO ENFORCEMENT BY THE OWNER'S ASSOCIATION.
2. ALL SIDEWALK DRIVE/STREET CROSSINGS SHALL MEET CURRENT ADA AND COUNTY REGULATIONS.
3. DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR MAKING SURE THAT ALL SIGHT TRIANGLES ARE CLEAR OF OBSTRUCTIONS.
4. THERE IS A 5' UTILITY EASEMENT ALONG ALL FRONT, SIDE, AND REAR PROPERTY LINES ON ALL LOTS UNLESS OTHERWISE NOTED.
5. LAFAYETTE COUNTY DOES NOT OWN OR MAINTAIN ANY STORM DRAINAGE PIPES LOCATED OUTSIDE OF THE RIGHT-OF-WAY, UNLESS SAID STORM DRAINAGE IS LOCATED WITHIN A PUBLIC DRAINAGE EASEMENT. THE OWNER'S ASSOCIATION SHALL OWN AND MAINTAIN ALL STORM DRAINAGE PIPES LOCATED OUTSIDE OF THE RIGHT-OF-WAY.
6. OWNERS OF ALL LOTS SHALL BE SUBJECT TO THE COVENANTS, CONDITIONS, AND RESTRICTIONS OF YOCONA RISE SUBDIVISION OWNER'S ASSOCIATION, INC. AS RECORDED IN OFFICIAL RECORDS INST. # _____ OF THE PUBLIC RECORDS OF LAFAYETTE COUNTY, MISSISSIPPI.
7. ALL STORM WATER FOR THIS DEVELOPMENT SHALL BE CONVEYED TO THE STORMWATER DETENTION SYSTEMS LOCATED IN THE PRIVATE STORMWATER EASEMENT AREAS OR THE AS SHOWN ON THE PRELIMINARY PLAT OF YOCONA RISE SUBDIVISION.
8. 1/2" IRON PINS SHALL BE SET AT ALL PROPOSED LOT CORNERS.
9. ALL COMMON OPEN SPACES SHALL BE MAINTAINED BY THE YOCONA RISE OWNER'S ASSOCIATION.
10. BY THE ACCEPTANCE OF THE DEED TO ANY LOT OF YOCONA RISE SUBDIVISION, THE LOT OWNERS OF SAID LOTS SHALL ACKNOWLEDGE NOTICE OF AND HEREBY WAIVE ANY PRESENT OR FUTURE OBJECTIONS TO ANY FURTHER DEVELOPMENT PLANS OF ANY LOTS LOCATED WITHIN THE SUBDIVISION AND TO ANY AMENDMENTS THAT MAY BE REQUIRED TO THE FILED PLAT HEREIN AND/OR COVENANTS OF THE SUBDIVISION BY THE DEVELOPER FOR THE DEVELOPMENT OF SAID LOTS AS HEREIN SET OUT.
11. ALL AREAS OF RIGHT-OF-WAY (R.O.W.) SHOWN HEREIN ARE PUBLIC.
12. THE STORM WATER DETENTION SYSTEMS LOCATED WITHIN THE PRIVATE PRIVATE STORMWATER EASEMENT OF THIS SUBDIVISION SHALL BE OWNED AND MAINTAINED BY THE OWNER'S ASSOCIATION AND/OR BY THE PROPERTY OWNER(S) OF THE LOTS. IN THE EVENT ANY LOT BECOMES SUBDIVIDED INTO ADDITIONAL LOTS OR INDIVIDUAL SITE PLANS, SAID SITE PLANS CONFORMING TO THE COUNTY'S LAND DEVELOPMENT CODE, EACH PROPERTY OWNER SHALL OWN THEIR PRO RATA SHARE, BY AREA PERCENTAGE OF THEIR LOT, OF THE REGIONAL RETENTION/DETENTION SYSTEMS. SUCH MAINTENANCE SHALL BE PERFORMED SO AS TO ENSURE THAT THE SYSTEM OPERATES IN ACCORDANCE WITH THE APPROVED PLAN ON FILE IN THE COUNTY ENGINEER'S OFFICE. SUCH MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO REMOVAL OF SEDIMENTATION, FALLEN OBJECTS, DEBRIS AND TRASH, MOWING, OUTLET CLEANING AND REPAIR OF DRAINAGE STRUCTURES. THE COUNTY SHALL HAVE A 'RIGHT OF ACCESS' TO USE THE DRIVES, PARKING AREAS AND YARDS OF THIS PROPERTY TO MAKE INSPECTIONS OF THE STORM WATER RETENTION/DETENTION FACILITIES TO ENSURE THAT SAID MAINTENANCE HAS BEEN PROPERLY PERFORMED. IN THE EVENT THAT THE PROPERTY OWNER(S) HAVE NOT PROPERLY PERFORMED MAINTENANCE ON THE FACILITIES, TO THE EXTENT THAT THE FACILITIES POSES A THREAT TO PUBLIC HEALTH, SAFETY OR WELFARE, THE COUNTY SHALL RETAIN THE RIGHT TO PERFORM EMERGENCY REPAIRS TO THE FACILITY. THE COST OF ANY SUCH REPAIRS WILL REMAIN THE RESPONSIBILITY OF THE PROPERTY OWNER(S) AND MAY BE ADDED AS A LIEN ON THE NEXT YEAR'S TAX BILL.
13. ALL LOTS OF THIS SUBDIVISION ARE LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA AND ARE SUBJECT TO THE LAFAYETTE COUNTY FLOOD DAMAGE PREVENTION ORDINANCE. A BASE FLOOD ELEVATION (BFE) WAS DETERMINED OF 295.0' AND ALL PERMANENT STRUCTURES AND FUTURE DEVELOPMENT OF INDIVIDUAL LOTS/SITES SHALL HAVE FINISHED FLOOR ELEVATIONS AS INDICATED IN THE FINISHED FLOOR ELEVATION TABLE OR CONFORM TO THE LAFAYETTE COUNTY FLOOD DAMAGE PREVENTION ORDINANCE.
14. THE 26' UTILITY/INGRESS/EGRESS/CROSS-ACCESS EASEMENT SHALL BE FOR THE USE OF ALL LOTS 1 & 2 AND ALL ACCESS DRIVES AND DRAINAGE WAYS SHALL BE MAINTAINED BY THE YOCONA RISE SUBDIVISION OWNERS ASSOCIATION.

MINIMUM FINISHED FLOOR ELEVATION TABLE

| LOT # | MIN. FFE |
|-------|----------|
| 1 | 296.50 |
| 2 | 296.50 |

DRIVEWAY CULVERT TABLE

| LOT # | MIN. CULVERT DIAMETER (INCH) |
|-------|------------------------------|
| 1 | 18 |
| 2 | 18 |

FEMA NOTE:

THIS PROPERTY IS LOCATED IN ZONE "A", WHICH IS DESIGNATED AS A SPECIAL FLOOD HAZARD AREA INUNDATED BY 100-YR FLOOD, WITHOUT BASE FLOOD ELEVATIONS DETERMINED PER FLOOD INSURANCE RATE MAP, MAP NO. 28071C0270C, EFFECTIVE DATE: NOVEMBER 26, 2010.

BENCHMARK:

BENCHMARK (B.M.): NAIL SET AT THE EDGE OF PAVEMENT HAVING A KNOWN ELEVATION OF 294.69 AND BEING LOCATED SOUTH 82.26 FEET AND WEST 242.90 FEET OF THE POB.

| | | |
|--|---|--------------|
| PRELIMINARY PLAT | | |
| YOCONA RISE SUBDIVISION | | |
| LAFAYETTE COUNTY, MISSISSIPPI | | |
| A-1 (RURAL AGRICULTURAL LOTS): 2 TOTAL AREA: 18.72 AC | | |
| OWNER: HIGHWAY 328, LLC 31 HWY 328 OXFORD, MS 38655 | ENGINEER: GRANBERRY & ASSOCIATES 1686 PADINGTON PARK LANE GERMANTOWN, TN 38138 | |
| DATE: JUNE 2026 | SCALE: 1"=100' | SHEET 1 OF 2 |

OWNERS CERTIFICATE (DEVELOPER)

I, J.W. McCURDY, MANAGING MEMBER OF HIGHWAY 328, LLC, AND AS OWNER OF THE TRACT OF LAND HEREIN DESCRIBED, CERTIFY THAT I DID CAUSE SAID LAND TO BE SUBDIVIDED AND PLATTED AS SHOWN ON THIS PLAT OF YOCONA RISE SUBDIVISION, AND THE STREETS ARE DEDICATED TO THE USE OF THE PUBLIC FOREVER. UTILITY EASEMENTS ARE ALSO DEDICATED TO THE PUBLIC AND/OR PRIVATE UTILITY COMPANIES WHICH SERVE THIS SUBDIVISION, SUBJECT TO THE REGULATIONS OF AND APPROVAL BY THE CITY OF OXFORD. SUCH SUBDIVISION AND DEDICATION IS THE OWNER'S OWN ACT AND DEED OF HIS OWN FREE WILL.

WITNESS MY HAND AND SIGNATURE THIS THE _____ DAY OF _____, 20____

SIGNED: _____
J.W. McCURDY, MANAGING MEMBER

NOTARY'S CERTIFICATE
STATE OF MISSISSIPPI
COUNTY OF LAFAYETTE

PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED AUTHORITY IN AND FOR THE SAID COUNTY AND STATE, ON THIS THE _____ DAY OF _____, 20____ WITHIN MY JURISDICTION, THE WITHIN NAMED J.W. McCURDY, WHO ACKNOWLEDGED THAT HE IS THE MANAGING MEMBER OF HIGHWAY 328, LLC, AND THAT IN SAID REPRESENTATIVE CAPACITY, HE EXECUTED THE ABOVE AND FOREGOING INSTRUMENT, AFTER FIRST HAVING BEEN DULY AUTHORIZED TO DO SO.

MY COMMISSION EXPIRES _____

NOTARY PUBLIC

MORTGAGEE'S CERTIFICATE

TRUSTMARK NATIONAL BANK, MORTGAGEE OF THE PROPERTY HEREIN, HEREBY ADOPT THIS AS MY PLAN OF SUBDIVISION AND DEDICATE THE UTILITY EASEMENTS AS SHOWN ON THE PLAN OF THE SUBDIVISION TO THE CITY OF OXFORD AND LAFAYETTE COUNTY, MISSISSIPPI, FOR THE PUBLIC USE FOREVER. I CERTIFY THAT I AM THE MORTGAGEE IN 'FEE' SIMPLE OF THE PROPERTY AND THAT NO TAXES HAVE BECOME DUE AND PAYABLE THIS THE _____ DAY OF _____, 20____

SIGNED: _____
KEVIN STRINGER, FIRST VICE PRESIDENT
TRUSTMARK NATIONAL BANK

NOTARY'S CERTIFICATE
STATE OF MISSISSIPPI
COUNTY OF LAFAYETTE

PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED AUTHORITY IN AND FOR THE SAID COUNTY AND STATE, ON THIS THE _____ DAY OF _____, 20____ WITHIN MY JURISDICTION, THE WITHIN NAMED KEVIN STRINGER, WHO ACKNOWLEDGED THAT HE IS THE FIRST VICE PRESIDENT OF TRUSTMARK NATIONAL BANK, AND THAT IN SAID REPRESENTATIVE CAPACITY, HE EXECUTED THE ABOVE AND FOREGOING INSTRUMENT, AFTER FIRST HAVING BEEN DULY AUTHORIZED TO DO SO.

MY COMMISSION EXPIRES _____

NOTARY PUBLIC

FILING CERTIFICATION BY CHANCERY CLERK
STATE OF MISSISSIPPI

COUNTY OF LAFAYETTE

PERSONALLY APPEARED BEFORE ME, SHERRY WALL, CHANCERY CLERK, IN AND FOR LAFAYETTE COUNTY, MISSISSIPPI, J.W. McCURDY, WHO EXECUTED THE ATTACHED OWNER'S CERTIFICATE THAT WAS SIGNED AND DELIVERED OF HIS OWN FREE ACT AND DEED.

SHERRY WALL - CHANCERY CLERK
COUNTY OF LAFAYETTE
STATE OF MISSISSIPPI

WITNESS MY HAND AND SIGNATURE ON THIS, THE _____ DAY OF _____, 20____ AND WAS DULY RECORDED IN PLAT CABINET _____, SLIDE _____,

SHERRY WALL - CHANCERY CLERK

RESTRICTIVE COVENANTS

THE PROPERTY LOCATED IN LAFAYETTE CO., MISSISSIPPI, AS SHOWN ON THIS PLAT IS SUBJECT TO THE RESTRICTIVE COVENANTS WHICH ARE SET OUT IN INSTRUMENT RECORDED IN INSTRUMENT NUMBER _____ OF THE DEED RECORDS OF LAFAYETTE CO., MISSISSIPPI.

CHANCERY COURT CLERK

ENGINEER'S CERTIFICATE:

I CERTIFY THAT HWY 328 SUBDIVISION IS IN CONFORMANCE WITH THE DESIGN REQUIREMENTS OF THE SUBDIVISION REGULATIONS AND SPECIFIC CONDITIONS IMPOSED ON THIS DEVELOPMENT, AND TAKES INTO ACCOUNT ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS AND REGULATIONS.

WITNESS MY HAND AND SIGNATURE ON THIS, THE _____ DAY OF _____, 20____

SIGNED: _____
JOHN GRANBERRY, P.E.
LICENSE#: 18894

SURVEYOR'S CERTIFICATE

I CERTIFY THAT THE WITHIN PLAT OF HWY 328 SUBDIVISION IN LAFAYETTE COUNTY, MISSISSIPPI, IS A TRUE AND CORRECT REPRESENTATION OF SAID SUBDIVISION AND THAT I SIGNED AND DELIVERED IT AS MY OWN ACT AND DEED.

WITNESS MY HAND AND SIGNATURE ON THIS, THE _____ DAY OF _____, 20____

SIGNED: _____
RICHARD DANIELS, PLS
MISSISSIPPI CERTIFICATE #: 02922

CERTIFICATE OF ACCEPTANCE
LAFAYETTE COUNTY PLANNING COMMISSION

APPROVED AND RECOMMENDED FOR ACCEPTANCE BY THE LAFAYETTE COUNTY PLANNING COMMISSION, THIS THE _____ DAY OF _____, 20____.

CHAIRMAN, PLANNING COMMISSION
LAFAYETTE COUNTY

CERTIFICATE OF ACCEPTANCE
LAFAYETTE COUNTY BOARD OF SUPERVISORS

ACCEPTED AND APPROVED BY THE LAFAYETTE COUNTY BOARD OF SUPERVISORS, THIS THE _____ DAY OF _____, 20____ BY ORDER OF THE BOARD OF SUPERVISORS RECORDED IN INSTRUMENT # _____.

SIGNED: _____
PRESIDENT, BOARD OF SUPERVISORS
LAFAYETTE COUNTY, MISSISSIPPI

ATTEST: _____
SHERRY WALL, CHANCERY CLERK
LAFAYETTE COUNTY, MISSISSIPPI

STATE OF MISSISSIPPI
COUNTY OF LAFAYETTE

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON WAS FILED FOR RECORD IN MY OFFICE AT _____ O'CLOCK _____M., ON THE _____ DAY OF _____, 20____ AND WAS IMMEDIATELY ENTERED UPON THE PROPER INDEX AND DULY RECORDED IN PLAT CABINET _____, PAGE _____.

CHANCERY COURT CLERK

DESCRIPTION:

A TRACT OF LAND BEING A FRACTION OF THE EAST HALF (E 1/2) OF SECTION 29, TOWNSHIP 9 SOUTH, RANGE 3 WEST, LAFAYETTE COUNTY, MISSISSIPPI; BEING DESCRIBED IN MORE DETAIL AS FOLLOWS:

COMMENCING AT A 5/8" REBAR FOUND MARKING THE NORTHEAST CORNER OF SECTION 29, TOWNSHIP 9 SOUTH, RANGE 3 WEST, LAFAYETTE COUNTY, MISSISSIPPI; RUN THENCE S 33° 09' 28" W FOR A DISTANCE OF 1,920.39 FEET TO A 1/2" REBAR FOUND ON THE SOUTH RIGHT-OF-WAY LINE OF MISSISSIPPI STATE HIGHWAY NO. 328 (42.46 FEET FROM CENTERLINE), SAID POINT BEING THE POINT OF BEGINNING OF THIS DESCRIPTION; RUN THENCE S 25° 53' 42" E LEAVING SAID SOUTH RIGHT-OF-WAY LINE FOR A DISTANCE OF 1,180.17 FEET TO A POINT IN THE CENTERLINE OF YOCONA RIVER; RUN THENCE ALONG SAID CENTERLINE AS FOLLOWS: RUN THENCE S 71° 08' 29" W FOR A DISTANCE OF 278.02 FEET TO A POINT; RUN THENCE S 61° 35' 25" W FOR A DISTANCE OF 219.89 FEET TO A POINT; RUN THENCE S 57° 45' 30" W FOR A DISTANCE OF 208.17 FEET TO A POINT; RUN THENCE N 25° 53' 42" W LEAVING SAID CENTERLINE FOR A DISTANCE OF 1,178.78 FEET TO A POINT ON THE AFOREMENTIONED SOUTH RIGHT-OF-WAY LINE OF MISSISSIPPI STATE HIGHWAY NO. 328 (42.83 FEET FROM CENTERLINE); RUN THENCE N 64° 06' 18" E ALONG SAID SOUTH RIGHT-OF-WAY LINE FOR A DISTANCE OF 702.50 FEET TO THE POINT OF BEGINNING OF THE HEREIN DESCRIBED TRACT OF LAND. SAID TRACT CONTAINS 18.72 ACRES, MORE OR LESS.

"TRUE" GEODETIC BEARINGS WERE ESTABLISHED FROM GPS OBSERVATION BY WILLIAMS ENGINEERING CONSULTANTS, INC. (662-236-9675).

NOTES:

- ALL SIDE AND REAR YARD SWALES ARE TO ACT AS DRAINAGE WAYS. THEY ARE PRIVATE AND ARE TO BE MAINTAINED BY THE LOT OWNER. THEY ARE SUBJECT TO ENFORCEMENT BY THE OWNER'S ASSOCIATION.
- ALL SIDEWALK DRIVE/STREET CROSSINGS SHALL MEET CURRENT ADA AND COUNTY REGULATIONS.
- DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR MAKING SURE THAT ALL SIGHT TRIANGLES ARE CLEAR OF OBSTRUCTIONS.
- THERE IS A 5' UTILITY EASEMENT ALONG ALL FRONT, SIDE, AND REAR PROPERTY LINES ON ALL LOTS UNLESS OTHERWISE NOTED.
- LAFAYETTE COUNTY DOES NOT OWN OR MAINTAIN ANY STORM DRAINAGE PIPES LOCATED OUTSIDE OF THE RIGHT-OF-WAY, UNLESS SAID STORM DRAINAGE IS LOCATED WITHIN A PUBLIC DRAINAGE EASEMENT. THE OWNER'S ASSOCIATION SHALL OWN AND MAINTAIN ALL STORM DRAINAGE PIPES LOCATED OUTSIDE OF THE RIGHT-OF-WAY.
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- BY THE ACCEPTANCE OF THE DEED TO ANY LOT OF YOCONA RISE SUBDIVISION, THE LOT OWNERS OF SAID LOTS SHALL ACKNOWLEDGE NOTICE OF AND HEREBY WAIVE ANY PRESENT OR FUTURE OBJECTIONS TO ANY FURTHER DEVELOPMENT PLANS OF ANY LOTS LOCATED WITHIN THE SUBDIVISION AND TO ANY AMENDMENTS THAT MAY BE REQUIRED TO THE FILED PLAT HEREIN AND/OR COVENANTS OF THE SUBDIVISION BY THE DEVELOPER FOR THE DEVELOPMENT OF SAID LOTS AS HEREIN SET OUT.
- ALL AREAS OF RIGHT-OF-WAY (R.O.W.) SHOWN HEREIN ARE PUBLIC.
- THE STORM WATER DETENTION SYSTEMS LOCATED WITHIN THE PRIVATE PRIVATE STORMWATER EASEMENT OF THIS SUBDIVISION SHALL BE OWNED AND MAINTAINED BY THE OWNER'S ASSOCIATION AND/OR BY THE PROPERTY OWNER(S) OF THE LOTS. IN THE EVENT ANY LOT BECOMES SUBDIVIDED INTO ADDITIONAL LOTS OR INDIVIDUAL SITE PLANS, SAID SITE PLANS CONFORMING TO THE COUNTY'S LAND DEVELOPMENT CODE, EACH PROPERTY OWNER SHALL OWN THEIR PRO RATA SHARE, BY AREA PERCENTAGE OF THEIR LOT, OF THE REGIONAL RETENTION/DETENTION SYSTEMS. SUCH MAINTENANCE SHALL BE PERFORMED SO AS TO ENSURE THAT THE SYSTEM OPERATES IN ACCORDANCE WITH THE APPROVED PLAN ON FILE IN THE COUNTY ENGINEER'S OFFICE. SUCH MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO REMOVAL OF SEDIMENTATION, FALLEN OBJECTS, DEBRIS AND TRASH, MOWING, OUTLET CLEANING AND REPAIR OF DRAINAGE STRUCTURES. THE COUNTY SHALL HAVE A 'RIGHT OF ACCESS' TO USE THE DRIVES, PARKING AREAS AND YARDS OF THIS PROPERTY TO MAKE INSPECTIONS OF THE STORM WATER RETENTION/DETENTION FACILITIES TO ENSURE THAT SAID MAINTENANCE HAS BEEN PROPERLY PERFORMED. IN THE EVENT THAT THE PROPERTY OWNER(S) HAVE NOT PROPERLY PERFORMED MAINTENANCE ON THE FACILITIES, TO THE EXTENT THAT THE FACILITIES POSES A THREAT TO PUBLIC HEALTH, SAFETY OR WELFARE, THE COUNTY SHALL RETAIN THE RIGHT TO PERFORM EMERGENCY REPAIRS TO THE FACILITY. THE COST OF ANY SUCH REPAIRS WILL REMAIN THE RESPONSIBILITY OF THE PROPERTY OWNER(S) AND MAY BE ADDED AS A LIEN ON THE NEXT YEAR'S TAX BILL.
- ALL LOTS OF THIS SUBDIVISION ARE LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA AND ARE SUBJECT TO THE LAFAYETTE COUNTY FLOOD DAMAGE PREVENTION ORDINANCE. A BASE FLOOD ELEVATION (BFE) WAS DETERMINED OF 295.0' AND ALL PERMANENT STRUCTURES AND FUTURE DEVELOPMENT OF INDIVIDUAL LOTS/SITES SHALL HAVE FINISHED FLOOR ELEVATIONS AS INDICATED IN THE FINISHED FLOOR ELEVATION TABLE OR CONFORM TO THE LAFAYETTE COUNTY FLOOD DAMAGE PREVENTION ORDINANCE.
- THE 26' UTILITY/INGRESS/EGRESS/CROSS-ACCESS EASEMENT SHALL BE FOR THE USE OF ALL LOTS 1 & 2 AND ALL ACCESS DRIVES AND DRAINAGE WAYS SHALL BE MAINTAINED BY THE YOCONA RISE SUBDIVISION OWNERS ASSOCIATION.

| | | |
|--|---|--------------|
| PRELIMINARY PLAT | | |
| YOCONA RISE SUBDIVISION | | |
| LAFAYETTE COUNTY, MISSISSIPPI | | |
| A-1 (RURAL AGRICULTURAL LOTS): 2 TOTAL AREA: 18.72 AC | | |
| OWNER: HIGHWAY 328, LLC 31 HWY 328 OXFORD, MS 38655 | ENGINEER: GRANBERRY & ASSOCIATES 1686 PADINGTON PARK LANE GERMANTOWN, TN 38138 | |
| DATE: JUNE 2026 | SCALE: 1"=100' | SHEET 2 OF 2 |

FEMA NOTE:
THIS PROPERTY IS LOCATED IN ZONE "A", WHICH IS DESIGNATED AS A SPECIAL FLOOD HAZARD AREA INUNDATED BY 100-YR FLOOD, WITHOUT BASE FLOOD ELEVATIONS DETERMINED PER FLOOD INSURANCE RATE MAP, MAP NO. 28071C0270C, EFFECTIVE DATE: NOVEMBER 26, 2010.

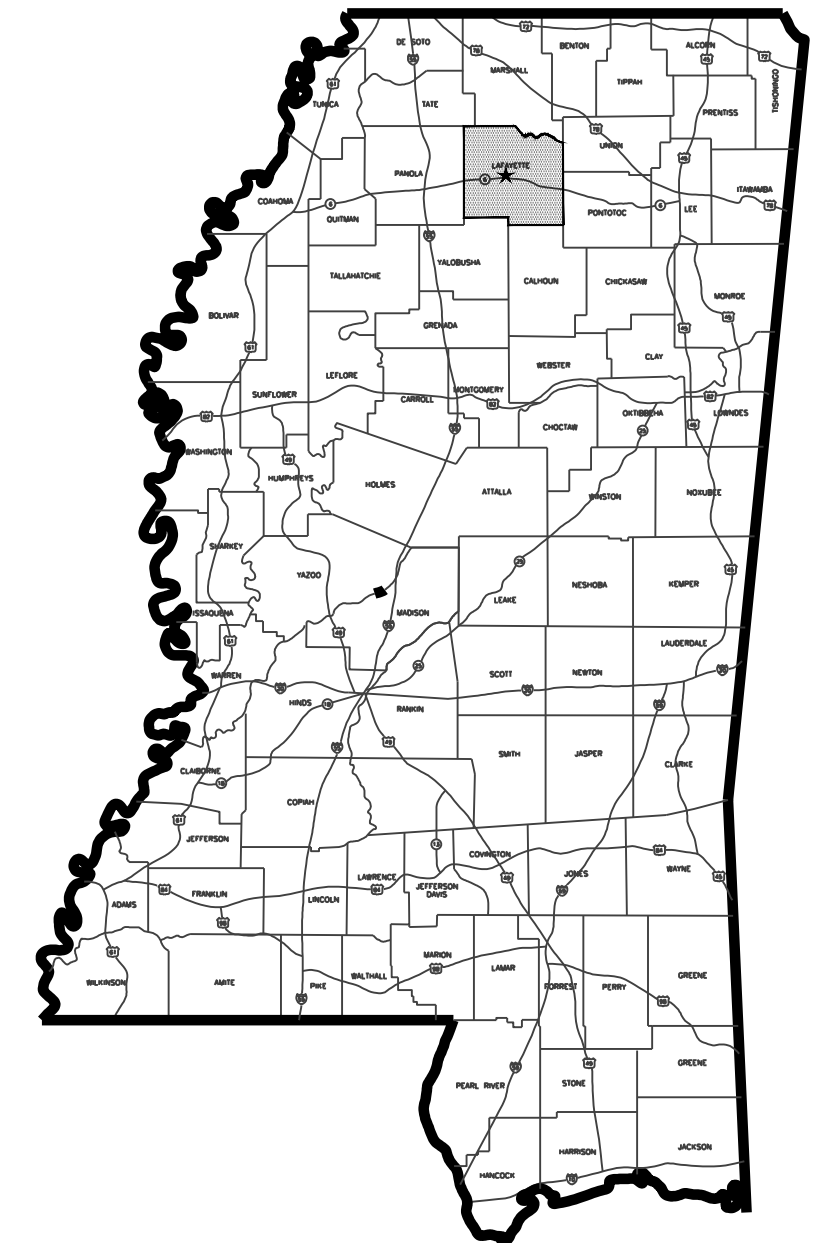
BENCHMARK:
BENCHMARK (B.M.): NAIL SET AT THE EDGE OF PAVEMENT HAVING A KNOWN ELEVATION OF 294.69 AND BEING LOCATED SOUTH 82.26 FEET AND WEST 242.90 FEET OF THE POB.

PRELIMINARY PLAT & CONSTRUCTION PLANS

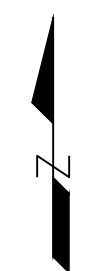
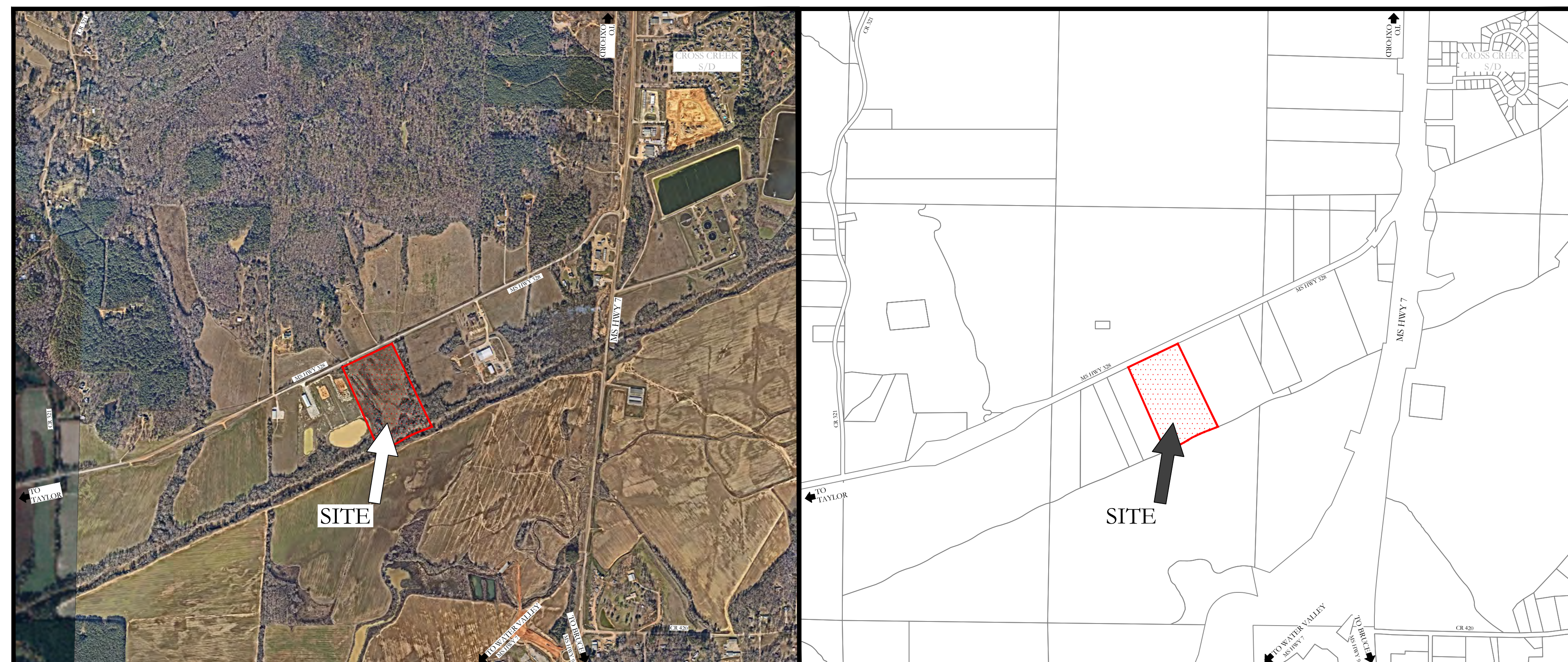
FOR

YOCONA RISE SUBDIVISION

L A F A Y E T T E C O U N T Y , M I S S I S S I P P I



LOCATION MAP
N.T.S



AERIAL MAP

SCALE: 1"=1,000'

DEVELOPER:

HIGHWAY 328, LLC
31 HWY 328
OXFORD, MS 38655



VICINITY MAP

SCALE: 1"=1,000'

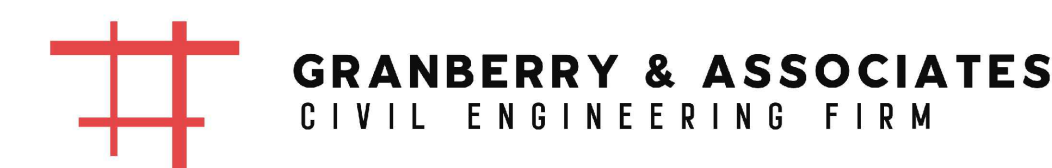
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IF, DURING CONSTRUCTION, THE ENGINEER FINDS IT NECESSARY TO CHANGE THE LINES, DIMENSIONS, THICKNESS, GRADES, SLOPES, SECTIONS OR QUANTITIES OR IF SUCH CHANGES ARE ORDERED FOR ANY OTHER REASON; THE FINAL QUANTITIES WILL BE RECOMPUTED BASED ON THE PLAN CHANGES, AS A RESULT OF AUTHORIZED CHANGES. ANY AND ALL MAJOR CHANGES MUST ALSO BE APPROVED BY THE LOCAL GOVERNING AGENCY.

CIVIL ENGINEER:



GRANBERRY & ASSOCIATES
1686 PADINGTON PARK LANE
GERMANTOWN, TN 38138
PH: 662.312.9672
jgranberry@mccartygranberry.com

SURVEYOR:



WILLIAMS ENGINEERING CONSULTANTS, LLC
720 NORTH LAMAR BLVD., STE. A
OXFORD, MS 38655
PH: 662.236.9675
rdaniels@williamsec.com

GENERAL NOTES:

- THE CONTRACTOR SHALL NOTIFY THE CITY OF OXFORD ENGINEERING DEPARTMENT AT (662) 232-2306 AND SHALL NOTIFY THE LAFAYETTE COUNTY PLANNING DEPARTMENT AT (662) 236-0237 BEFORE COMMENCING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ANY UTILITY COMPANY WHICH MAINTAINS A UTILITY LINE WITHIN THE BOUNDARIES OF THE PROJECT BEFORE THE INITIATION OF ANY CONSTRUCTION ON THE PROJECT OR IN THE STREETS BORDERING THE PROJECT. THE CONTRACTOR SHALL ALSO ASSUME RESPONSIBILITY FOR ANY DAMAGE INCURRED BY ANY UTILITY COMPANY TO THEIR UTILITY LINES WHETHER SHOWN ON THE CONSTRUCTION PLANS OR NOT, DURING WORK ON THE PROJECT.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT EXISTING STRUCTURES SUCH AS PIPES, INLETS, CURBS, APRONS, ETC., FROM DAMAGE WHICH MIGHT OCCUR DURING CONSTRUCTION. EXTREME CARE SHALL BE EXERCISED WHEN EXECUTING CONSTRUCT/ON ACTIVITIES AROUND SUCH STRUCTURES. THE CONTRACTOR SHALL REPLACE OR REPAIR, AS DIRECTED BY THE ENGINEER, ANY STRUCTURES DAMAGED DURING THE LIFE OF THE CONTRACT. NO PAYMENT SHALL BE MADE FOR REPLACEMENT OR REPAIR OF DAMAGED ITEMS.
- EXISTING UNDERGROUND UTILITY LINES ARE SHOWN ON THE DRAWINGS BASED UPON THE BEST INFORMATION AVAILABLE TO THE ENGINEER. THE ENGINEER CANNOT AND DOES NOT WARRANT THAT THIS INFORMATION IS COMPLETE OR ACCURATE. THE CONTRACTOR SHALL COORDINATE DIRECTLY WITH MISSISSIPPI 811 AND WITH THE INVOLVED UTILITY OWNERS TO GET UNDERGROUND UTILITY LINES FIELD LOCATED IN ADVANCE OF CONSTRUCT/ON ACTIVITIES.
- ALL NEWLY CUT AND/OR FILLED AREAS LACKING ADEQUATE VEGETATION SHALL BE SEEDED, FERTILIZED, MULCHED AND/OR SODDED AS REQUIRED TO EFFECTIVELY PREVENT SOIL EROSION PER STATE REGULATIONS.
- ALL CONSTRUCTION WITHIN PUBLIC EASEMENTS AND RIGHT-OF-WAYS SHALL MEET THE CITY OF OXFORD AND/OR LAFAYETTE COUNTY STANDARD SPECIFICATIONS, AS APPLICABLE. CONSTRUCTION WITHIN PRIVATE DEVELOPMENTS (PRIVATE STREETS, DRIVES, ALLEYS AND ASSOCIATED INFRASTRUCTURE) SHALL BE REVIEWED ON A CASE-BY-CASE BASIS.
- THE CONTRACTOR MUST HAVE WRITTEN APPROVAL FROM THE PROJECT AND THE CITY ENGINEER BEFORE ANY CHANGE IN DESIGN IS MADE.
- FOR INFORMATION CONCERNING THE UTILITIES, CALL 1-800-351-1111 OR THE RESPECTIVE ORGANIZATION.
 WATER - CITY OF OXFORD UTILITIES/ENGINEERING
 SANITARY SEWER - N/A (INDIVIDUAL ONSITE WASTEWATER SYSTEMS)
 GAS - CENTERPOINTE ENERGY
 ELECTRIC - NORTHEAST MISSISSIPPI ELECTRIC ASSOCIATION (NEMEP) & TENNESSEE VALLEY AUTHORITY (TVA)
 TELEPHONE/TELECOMMUNICATIONS - AT&T AND C-SPIRE
 CABLE TV - MAXXSOUTH BROADBAND
- SEVENTY-TWO (72) HOURS BEFORE BEGINNING ANY EXCAVATION, THE CONTRACTOR SHALL CALL 1-800-351-1111 FOR THE LOCATION OF UNDERGROUND UTILITIES. CALL CITY OF OXFORD, PUBLIC WORKS/UTILITIES FOR THE LOCATION OF WATER LINES AND SEWER LINES.
- THE CONTRACTOR SHALL NOT ENTER UPON NOR CAUSE DAMAGE TO ANY ADJACENT PROPERTIES WITHOUT WRITTEN PERMISSION FROM SAID PROPERTY OWNERS.
- ALL FILL LIFTS SHALL BE COMPACTED TO A MINIMUM DENSITY OF 95% OF THE STANDARD PROCTOR DENSITY (ASTM D-698) WITH SUITABLE FILL MATERIAL ACCEPTABLE TO TESTING LABORATORY. MAXIMUM LOOSE LIFT TO BE 6".
- ALL CONCRETE SHALL BE 4,000 PSI, AIR ENTRAINED.
- ANY EXISTING UTILITIES REQUIRING RELOCATION OR REMOVAL SHALL BE THE DEVELOPER'S RESPONSIBILITY.
- ALL TRAFFIC CONTROL DEVICES ON THIS PROJECT SHALL COMPLY WITH PART VI OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), LATEST EDITION.
- ANY CONSTRUCTION STAKING REQUIRED WILL BE THE RESPONSIBILITY OF THE CONTRACTOR. COST SHALL BE ABSORBED IN OTHER BID ITEMS.
- MISSISSIPPI STANDARD SPECIFICATIONS FOR STATE AID ROAD AND BRIDGE CONSTRUCTION, THE MOST CURRENT EDITION, AS PUBLISHED BY THE OFFICE OF STATE AID ROAD CONSTRUCTION SHALL GOVERN THE MATERIALS AND CONSTRUCTION TECHNIQUES OF THIS PROJECT.
- ALL DRAINAGE PIPE WITHIN THE PROJECT LIMITS, OF PROPOSED CONSTRUCTION, SHALL BE VIDEO-INSPECTED BY THE CONTRACTOR AND SUBMITTED TO THE CITY OF OXFORD PRIOR TO FINAL ACCEPTANCE. ANY PIPE, DAMAGED OR OUT-OF-JOINT, SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO COST TO THE PROJECT.
- COST FOR SAW-CUTTING OF EXISTING PAVEMENTS OR CURBS/SIDEWALKS SHALL BE ABSORBED IN OTHER ITEMS

WATER SPECIFICATION NOTES:

- ALL WATER MAIN LINES SHALL BE 8" DIAMETER (MIN.) DUCTILE IRON PIPE, CLASS 350.
- ALL WATER SERVICE LINES SHALL BE 1" MINIMUM DIAMETER AND SHALL MEET THE CITY OF OXFORD SPECIFICATIONS.
- CONSTRUCTION AND MATERIALS FOR THE WATER DISTRIBUTION SYSTEM SHALL CONFORM TO THE SPECIFICATIONS OF THE MISSISSIPPI DEPARTMENT OF HEALTH AND THE CITY OF OXFORD.
- WATER MAINS SHALL BE INSTALLED AT LEAST 10 FEET HORIZONTALLY AND 18 INCHES VERTICALLY FROM ANY SEWER MAIN OR MANHOLE (WATER OVER SEWER). WHERE WATER MAINS CROSS OVER SEWER MAINS, THE ABOVE REQUIREMENTS MAY BE WAIVED IF PIPE SEGMENTS ARE CENTERED TO PROVIDE MAXIMUM SPACING OF THE JOINTS OF BOTH WATER AND SEWER MAINS AND A VERTICAL SEPARATION OF AT LEAST 18 INCHES (WATER OVER SEWER) IS MAINTAINED. THE DISTANCES AND SPACING MENTIONED ABOVE ARE CLEAR DISTANCES, AND WHENEVER THE DISTANCE CAN NOT BE MET, THE MAIN MUST BE PLACED IN CASING.
- THE CONTRACTOR SHALL VERIFY LOCATION AND SIZE OF EXISTING WATER MAINS PRIOR TO COMMENCING BORING OR CONNECTION OPERATIONS. THE CONTRACTOR SHALL PROVIDE NECESSARY ADJUSTMENTS TO BOTH NEW AND EXISTING WATER LINES TO ALLOW CONNECTION AND INSTALLATION.
- WATER MAINS AND SERVICES MUST HAVE A MINIMUM OF 36" CLEARANCE.
- SPACING OF FIRE HYDRANTS MY VARY, BUT SHALL IN NO CASE BE SPACED FARTHER THAN 500' APART. SPACING SHALL BE MEASURED LINEARLY ALONG STREET FRONTAGE.
- CONTRACTOR SHALL MARK WATER CROSSINGS OF COMMON OPEN SPACE AREAS WITH CHISELED "W" ON CURB OR SIDEWALK AT CROSSING LOCATIONS.
- METER BOXES MEETING THE CITY OF OXFORD'S REQUIREMENTS SHALL BE PROVIDED FOR EACH BUILDING BY THE DEVELOPER AND INSTALLED TO GRADE.
- ALL TAPS MADE BY CITY OF OXFORD ARE TO BE PAID FOR BY CONTRACTOR/DEVELOPER.

SEWER NOTES:

- SANITARY SEWER SHOULD BE LAID AT LEAST 10 FEET HORIZONTALLY AND 18" VERTICALLY FROM ANY EXISTING OR PROPOSED WATER MAIN, WITH THE WATER MAIN LOCATED ABOVE THE SEWER PIPE. SEWERS CROSSING WATER MAINS SHALL BE ARRANGED SO THAT THE SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN OR THE SEWER SHOULD BE DUCTILE IRON OR SHALL BE ENCASED IN DUCTILE IRON OR CONCRETE FOR A MINIMUM OF ONE FULL JOINT LENGTH ON EACH SIDE OF THE CROSSING.
- ALL SANITARY SEWER MAINS AND SERVICES SHALL BE PVC SDR-26. SEWER SERVICES SHALL BE 6" IN DIAMETER, AND SHALL BE INSTALLED ON A MINIMUM 1% SLOPE. AT THE PROPERTY LINE CHISEL AN "S" ON THE CURB AT THE TAP LOCATION. SEWER SERVICES SHALL BE EXTENDED TO A DISTANCE OF 5' MINIMUM BEHIND BACK OF SIDEWALK AND LOCATED WITH 2" DIA. LOCATION PIPE.
- CONSTRUCTION AND MATERIALS FOR THE SANITARY SEWER SYSTEM SHALL CONFORM TO THE SPECIFICATIONS OF THE MISSISSIPPI DEPARTMENT OF ENVIRONMENTAL QUALITY, LAFAYETTE COUNTY, AND MISSISSIPPI DEPARTMENT OF HEALTH.
- ALL NEWLY CUT AND/OR FILLED AREAS LACKING ADEQUATE VEGETATION SHALL BE SEEDED, FERTILIZED, MULCHED AND/OR SODDED AS REQUIRED TO EFFECTIVELY PREVENT SOIL EROSION PER STATE REGULATIONS.
- ALL SEWER LINES ARE TO HAVE A MANDREL PULLED AND AIR TESTED. ALL SEWER MANHOLES ARE TO BE VACUUM TESTED.
- CONTRACTOR SHALL MARK SEWER CROSSINGS OF COMMON OPEN SPACE AREAS WITH CHISELED "S" ON CURB OR SIDEWALK AT CROSSING LOCATIONS.
- SEWER SERVICES SHOWN FOR APPROXIMATE LOCATIONS, BUT SHALL BE LOCATED NEAR THE CENTER OF EACH LOT AND SHALL BE SPACED 10' FROM WATER SERVICES, WHERE PRACTICAL.
- SEVENTY-TWO (72) HOURS BEFORE BEGINNING ANY EXCAVATION, THE CONTRACTOR SHALL CALL 1-800-351-1111 FOR THE LOCATION OF UNDERGROUND UTILITIES. CALL CITY OF OXFORD FOR THE LOCATION OF WATER LINES.
- ALL TRENCHES ARE TO BE BACK-FILLED ACCORDING TO THE LAFAYETTE COUNTY STANDARD CONSTRUCTION SPECIFICATIONS AND ASTM D2321.
- DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE PIPE. THE TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF 5%. IF THE DEFLECTION TEST IS TO BE RUN USING A RIGID BALL OR MANDREL, IT SHALL HAVE A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES.

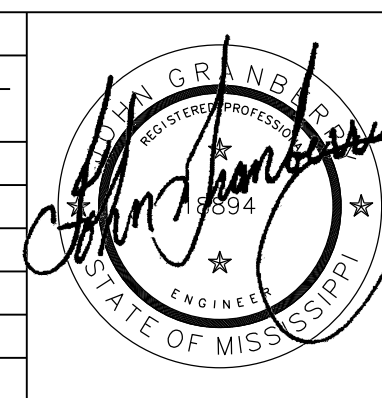
EROSION CONTROL NOTES:

- EROSION CONTROLS ARE NOT LIMITED TO THE SPECIFIED PRACTICES; HOWEVER, ALTERNATIVE MEASURES MUST BE AS EFFECTIVE IN CONTROLLING EROSION AND SEDIMENTATION.
- IF THE EROSION CONTROL MEASURES SELECTED AND CONSTRUCTED FAIL TO ADEQUATELY CONTROL EROSION AND OFF-SITE SEDIMENT TRANSPORT, ALTERNATIVE METHODS MUST BE USED AND APPROVED BY THE DIVISION OF ENGINEERING AND MDEQ. INADEQUATELY CONTROLLED EROSION IS A VIOLATION OF MISSISSIPPI STATE LAW AND WILL NOT BE PERMITTED.
- ANY EROSION CONTROL MEASURES SHOWN HERE ON ARE INTENDED AS A MINIMUM GUIDE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EROSION CONTROLS NECESSARY TO COMPLY WITH ALL APPLICABLE CITY, STATE AND FEDERAL LAWS.
- CLEARING AND GRUBBING SHALL BE THE MINIMUM NECESSARY FOR GRADING AND EQUIPMENT OPERATION.
- SEQUENCE CONSTRUCTION SHALL BE USED IN ORDER TO MINIMIZE EXPOSURE TIME OF CLEARED AREA.
- AVOID GRADING ACTIVITIES DURING MONTHS OF HIGHLY EROSION RAINFALL.
- STABILIZE CLEARED AREA BEFORE PROCEEDING TO CLEAR ANOTHER BY TEMPORARILY OR PERMANENTLY PROTECTING THE DISTURBED SOIL SURFACE FROM RAINFALL IMPACTS AND RUNOFF.
- EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE AND FUNCTIONAL PRIOR TO BEGINNING EARTH MOVING OPERATIONS.
- ALL EROSION CONTROL MEASURES MUST BE PROPERLY CONSTRUCTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
- EROSION CONTROL MEASURES MUST BE APPROPRIATELY ADJUSTED, RELOCATED AND MODIFIED IN ACCORDANCE WITH APPLICABLE REQUIREMENTS AND REGULATIONS TO ADDRESS CHANGING SITE CONDITIONS AS THE PROJECT PROGRESSES.
- INSPECT ALL EROSION AND SEDIMENT CONTROL MEASURES TWICE WEEKLY, A MINIMUM OF 72 HOURS APART AND AFTER EACH RAINFALL PER MDEQ CONSTRUCTION GENERAL PERMIT REQUIREMENTS. DAILY CHECKING IS REQUIRED DURING PROLONGED RAINFALL. MAINTAIN A RAIN GAUGE ON SITE WITH A PERMANENT RAINFALL LOG. MAINTAIN A PERMANENT LOG OF CHECKS AND MAINTENANCE MEASURES.
- KEEP CONSTRUCTION DEBRIS FROM ENTERING SWALES, DITCHES AND STREAM CHANNELS.
- PROMPTLY BACKFILL AND STABILIZE TRENCHES AND/OR PITS.
- DESIGNATE A SPECIFIC QUALIFIED INDIVIDUAL TO BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROLS AND TO KEEP THE PERMANENT JOB LOG. THE PERSON RESPONSIBLE FOR MAINTAINING THE EROSION CONTROL MEASURES AND LOG SHALL HAVE THE APPROPRIATE CERTIFICATION AS REQUIRED BY MDEQ. A COPY OF THIS CERTIFICATION SHALL BE MAINTAINED AT THE JOB SITE.
- DO NOT PLACE EXCAVATION MATERIAL FROM THE PIPE TRENCHES BETWEEN THE TRENCH AND SWALES, DITCHES OR STREAMS. PLACE MATERIAL ON THE UP SLOPE SIDE OF THE EXCAVATION SUCH THAT ANY EROSION FROM IT IS CAUGHT BY THE TRENCH.
- BUFFER ZONES SHALL BE PROVIDED TO MEET THE MINIMUM REQUIREMENTS OF THE MDEQ CONSTRUCTION GENERAL PERMIT.
- DO NOT DESTROY, REMOVE OR DISTURB VEGETATIVE GROUND COVER MORE THAN 14 CALENDAR DAYS PRIOR TO GRADING.
- DO NOT UNNECESSARILY REMOVE CANOPY; HOWEVER, WHEN NECESSARY, TREES AND SHRUBS SHOULD BE CUT SO THAT THEY FALL AWAY FROM THE DITCH.
- ANY AREA THAT WILL REMAIN UNFINISHED FOR MORE THAN 14 CALENDAR DAYS SHALL HAVE APPROPRIATE ANNUAL VEGETATION FOR TEMPORARY SOIL STABILIZATION.
- APPLY PERMANENT SOIL STABILIZATION WITH PERENNIAL VEGETATION AS SOON AS POSSIBLE, BUT NO MORE THAN 14 CALENDAR DAYS AFTER FINAL GRADING.
- EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, THEN ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL AND/OR TREAT THE SEDIMENT SOURCE BEFORE LAND AND/OR AQUATIC DISTURBANCE MAY CONTINUE.
- ALL EROSION CONTROL MEASURES SHALL MEET THE MINIMUM REQUIREMENTS OF ALL FEDERAL, STATE AND LOCAL AGENCIES.
- PROTECT INLETS DURING CONSTRUCTION. KEEP SEDIMENT OUT OF THE STORM DRAINAGE SYSTEM. MODIFY PROTECTION AS CONSTRUCTION PROGRESSES. INSPECT AND MODIFY INLET PROTECTIONS AS NECESSARY TO INSURE SATISFACTORY TRAPPING OF SEDIMENT.
- IN ACCORDANCE WITH THE CITY OF OXFORD M54 PERMIT, ALL STATE/NPDES PERMITS ARE REQUIRED TO BE OBTAINED AND IMPLEMENTED BEFORE START-UP OF ANY CONSTRUCTION ACTIVITIES, INCLUDING, BUT NOT LIMITED TO, LAND AND/OR AQUATIC DISTURBANCE.
- INSTALL STAKED AND ENTRENCHED MULCH SOCKS AND/OR SILT FENCE ALONG THE BASE OF ALL BACKFILLS AND CUTS ON THE DOWNHILL SIDE OF ANY STOCKPILED SOIL AND ALONG ANY DITCH BANKS IN CLEARED AREAS TO PREVENT EROSION INTO DITCHES. PLACE SILT FENCE ALONG CONTOURS, NOT ACROSS. DO NOT ALLOW SILT FENCE TO CAUSE CONCENTRATED FLOW.
- DIVERT ALL SURFACE WATER FLOWING TOWARD THE CONSTRUCTION AREA AROUND THE CONSTRUCTION AREA BY THE USE OF DIKES, BERMS, CHANNELS OR SEDIMENT TRAPS AS NECESSARY.
- IF REQUIRED, PLACE COFFERDAMS CONSTRUCTED WITH SANDBAGS, PLASTIC OR NON-ERODIBLE SHEETING ON EITHER SIDE OF PROPOSED LINE CROSSINGS AND EXTEND FROM BANK TO BANK TO PREVENT THE FLOW OF WATER INTO THE CONSTRUCTION AREA. HOLD WATER FROM COFFERDAMS OR EXCAVATIONS IN PROPERLY DESIGNATED SETTLING BASINS, DEWATERING PITS OR FILTER BASINS UNTIL IT IS AT LEAST AS CLEAR AS UPSTREAM WATER BEFORE DISCHARGING INTO SURFACE WATER. ENSURE THAT DISCHARGE DOES NOT CAUSE EROSION AND SEDIMENTATION.
- DO NOT USE DITCHES FOR THE TRANSPORT OF EQUIPMENT. USE A STABILIZED PAD OF CLEAN AND PROPERLY SIZED ROCK FOR ACCESS TO ROAD CONSTRUCTION. UTILIZE EROSION AND SEDIMENT CONTROL MEASURES AS INDICATED ON THE PLANS AND IN THE CURRENT EDITION OF THE MISSISSIPPI EROSION PREVENTION AND SEDIMENT CONTROL HANDBOOK WHERE DITCH BANKS ARE DISTURBED.

GOVERNING AGENCY CONTACT INFORMATION:

- LAFAYETTE COUNTY PLANNING AND DEVELOPMENT DEPARTMENT:
 300 NORTH LAMAR
 OXFORD, MS 38655
 PHONE: (662) 236-0237
- LAFAYETTE COUNTY ENGINEER:
 P.O. BOX 308
 OXFORD, MS 38655
 PHONE: (662) 234-1763
- LAFAYETTE COUNTY BUILDING INSPECTOR:
 300 NORTH LAMAR
 OXFORD, MS 38655
 PHONE: (662) 236-0237
- LAFAYETTE COUNTY FIRE DEPARTMENT:
 P.O. BOX 1933
 OXFORD, MS 38655
 PHONE: (662) 232-2880
- CITY OF OXFORD, ENGINEERING DEPARTMENT:
 107 COURTHOUSE SQUARE
 OXFORD, MS 38655
 PHONE: (662) 232-2306
- CITY OF OXFORD, UTILITIES DEPARTMENT:
 300 MCELROY DRIVE
 OXFORD, MS 38655
 PHONE: (662) 232-2373
- MISSISSIPPI DEPARTMENT OF ENVIRONMENTAL QUALITY (MDEQ):
 ENVIRONMENTAL PERMITS DIVISION
 OFFICE OF POLLUTION CONTROL
 P.O. BOX 2261
 JACKSON, MS 39225
 PHONE: (601) 961-5171
- MISSISSIPPI DEPARTMENT OF HEALTH (MSDH):
 WATER SUPPLY DIVISION
 570 E WOODROW WILSON AVE
 JACKSON, MS 39216
 PHONE: (601) 576-7518
- MISSISSIPPI DEPARTMENT OF TRANSPORTATION (MDOT):
 150 US HWY 51
 BATESVILLE, MS 38606
 PHONE: (662) 563-4541

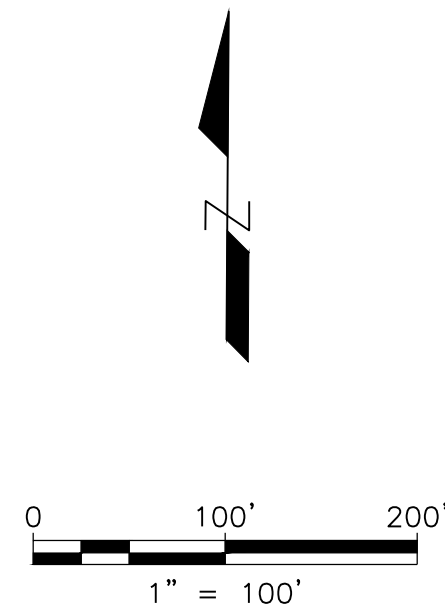
| REVISION | | |
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| ITEM NO. | DESCRIPTION OF CHANGE | APPROVAL DATE |
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DIVISION OF ENGINEERING
 GENERAL NOTES
 LAFAYETTE COUNTY, MS

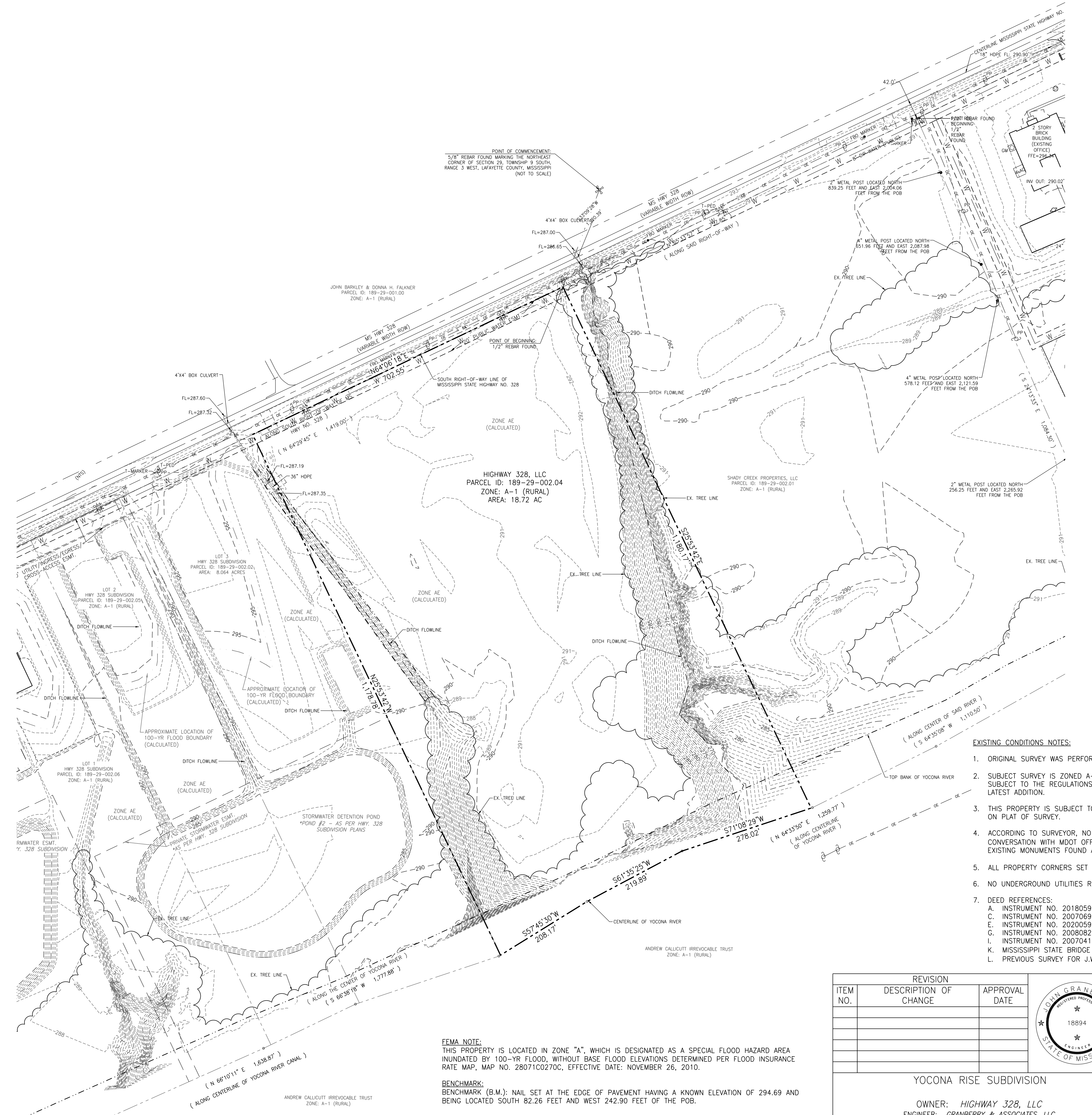
SURVEY: WILLIAMS ENG. DATE: 9/20/2022 PROJECT NO.: 1000-162
 DESIGN BY: J. GRANBERRY, P.E. DATE: 5/15/2026 BOOK:
 DRAWN BY: J. GRANBERRY, P.E. DATE: 5/15/2026 SCALE: N.T.S.

YOCONA RISE SUBDIVISION
 OWNER: HIGHWAY 328, LLC
 ENGINEER: GRANBERRY & ASSOCIATES, LLC



LEGEND

- These standard symbols may be found in the drawing.
- PROPERTY LINES
 - ADJOINING PROP. LINES
 - BACK OF CURB
 - FACE OF CURB
 - SIDEWALK
 - EDGE OF PAVEMENT
 - ROADWAY CENTERLINE
 - EX. OH ELECTRIC LINES
 - EX. UG ELECTRIC LINES
 - EX. WATER LINES
 - EX. SEWER LINES
 - EX. STORM DRAIN
 - EX. GAS LINE
 - EX. UG CABLE
 - EX. FIBER OPTIC
 - EX. FENCE LINES
 - EX. SIDEWALK
 - EX. EASEMENT
 - PR. WATER LINE
 - PR. SEWER LINE
 - PR. STORM DRAIN
 - DRAINAGE BASIN
 - EASEMENT
- EX. UTILITY POLE
 - EX. FIRE HYDRANT
 - EX. LIGHT POLE
 - EX. TELEPHONE PEDESTAL
 - EX. WATER VALVE
 - EX. WATER METER
 - EX. SEWER MANHOLE
 - EX. DRAINAGE MANHOLE
 - EX. ELECTRICAL BOX



POINT OF COMMENCEMENT:
5/8" REBAR FOUND MARKING THE NORTHEAST
CORNER OF SECTION 29, TOWNSHIP 9 SOUTH,
RANGE 3 WEST, LAFAYETTE COUNTY, MISSISSIPPI
(NOT TO SCALE)

HIGHWAY 328, LLC
PARCEL ID: 189-29-002.04
ZONE: A-1 (RURAL)
AREA: 18.72 AC

EXISTING CONDITIONS NOTES:

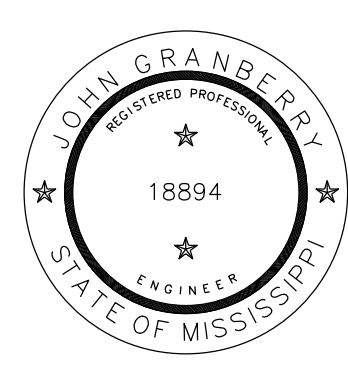
1. ORIGINAL SURVEY WAS PERFORMED BY WILLIAMS ENGINEERING CONSULTANTS, INC. AND UPDATED IN SEPT. 2022.
2. SUBJECT SURVEY IS ZONED A-1 "RURAL" AS PER LAFAYETTE COUNTY ZONING MAP DATED JANUARY 18, 2018 AND IS SUBJECT TO THE REGULATIONS, SETBACKS, AND EASEMENTS FOUND IN THE LAFAYETTE COUNTY ZONING ORDINANCE LATEST ADDITION.
3. THIS PROPERTY IS SUBJECT TO ANY RIGHT-OF-WAY OR EASEMENTS RECORDED OR UNRECORDED SHOWN OR NOT SHOWN ON PLAT OF SURVEY.
4. ACCORDING TO SURVEYOR, NO ROADWAY PLANS EXISTING FRONTING SUBJECT SURVEY ACCORDING TO PHONE CONVERSATION WITH MDT OFFICIALS IN BATESVILLE, MS ON 06/17/2015. RIGHT-OF-WAY WAS ESTABLISHED FROM EXISTING MONUMENTS FOUND ALONG THE SOUTH RIGHT-OF-WAY LINE OF MISSISSIPPI STATE HIGHWAY NO. 328.
5. ALL PROPERTY CORNERS SET ARE 1/2" REBAR WITH SURVEY CAP, UNLESS OTHERWISE STATED.
6. NO UNDERGROUND UTILITIES REQUESTED OR SHOWN ON SUBJECT SURVEY.
7. DEED REFERENCES:

| | |
|--|-----------------------------|
| A. INSTRUMENT NO. 201805953 | B. INSTRUMENT NO. 201504467 |
| C. INSTRUMENT NO. 200706934 | D. INSTRUMENT NO. 202007191 |
| E. INSTRUMENT NO. 202005956 | F. INSTRUMENT NO. 201805953 |
| G. INSTRUMENT NO. 200808264 | H. INSTRUMENT NO. 200701269 |
| I. INSTRUMENT NO. 200704195 | J. INSTRUMENT NO. 201610919 |
| K. MISSISSIPPI STATE BRIDGE PROJECT NO. BR-0845-00(006) | |
| L. PREVIOUS SURVEY FOR J.W. MCCURDY BY WEC DATED 06/24/2015 AND HAVING PROJECT NO. SD-152744 | |

FEMA NOTE:
THIS PROPERTY IS LOCATED IN ZONE "A", WHICH IS DESIGNATED AS A SPECIAL FLOOD HAZARD AREA INUNDATED BY 100-YR FLOOD, WITHOUT BASE FLOOD ELEVATIONS DETERMINED PER FLOOD INSURANCE RATE MAP, MAP NO. 28071C0270C, EFFECTIVE DATE: NOVEMBER 26, 2010.

BENCHMARK:
BENCHMARK (B.M.): NAIL SET AT THE EDGE OF PAVEMENT HAVING A KNOWN ELEVATION OF 294.69 AND BEING LOCATED SOUTH 82.26 FEET AND WEST 242.90 FEET OF THE POB.

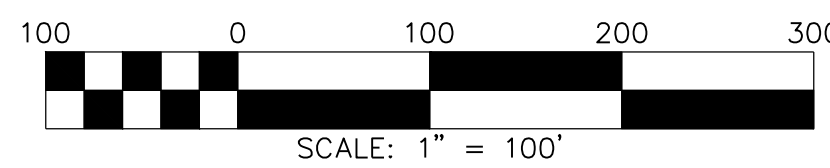
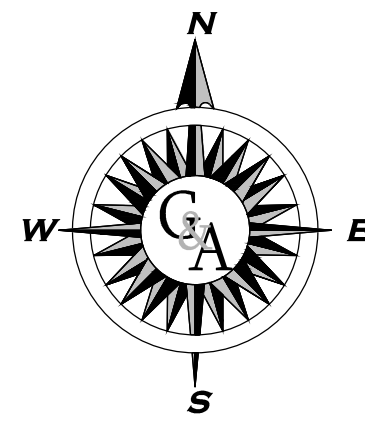
| REVISION | DESCRIPTION OF CHANGE | APPROVAL DATE |
|----------|-----------------------|---------------|
| | | |
| | | |
| | | |
| | | |



DIVISION OF ENGINEERING
EXISTING CONDITIONS
LAFAYETTE COUNTY, MS

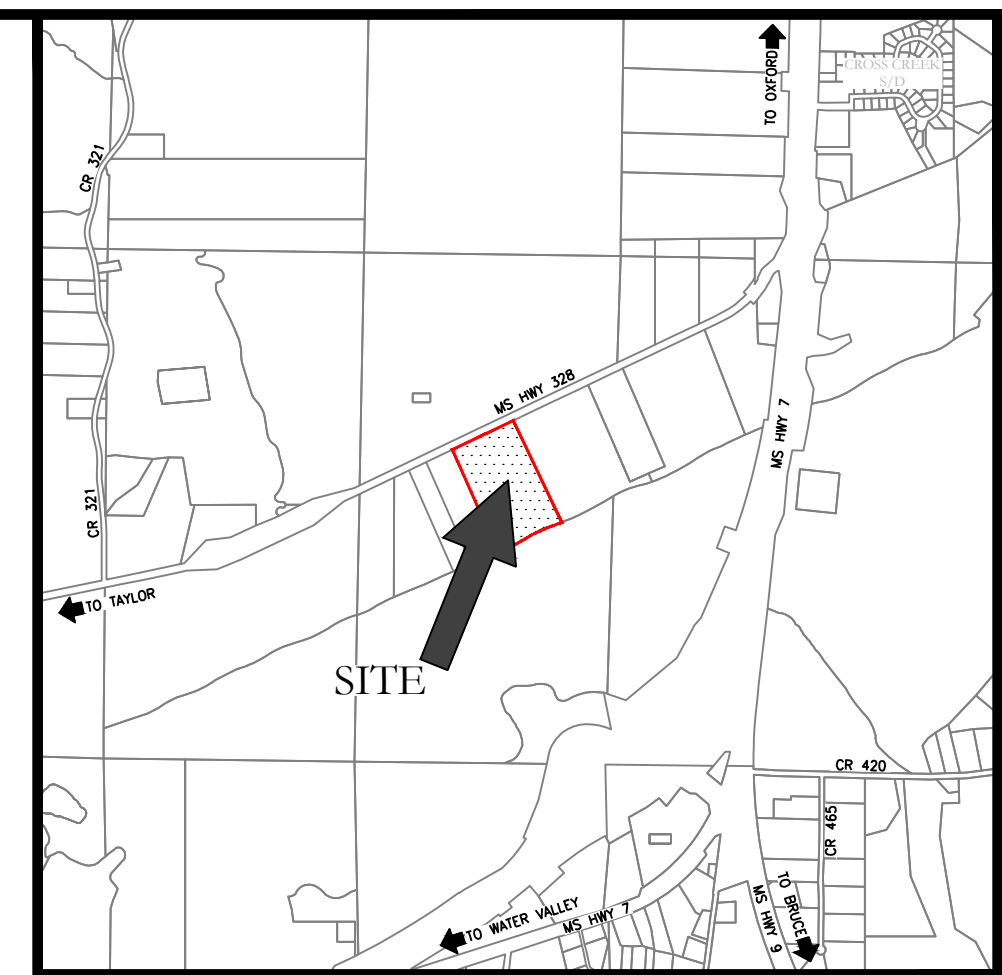
SURVEY: WILLIAMS ENG. DATE: 9/20/2022 PROJECT NO.: 1000-162
DESIGN BY: J. GRANBERRY, P.E. DATE: 5/15/2026 BOOK:
DRAWN BY: J. GRANBERRY, P.E. DATE: 5/15/2026 SCALE: 1" = 100'

YOCONA RISE SUBDIVISION
OWNER: HIGHWAY 328, LLC
ENGINEER: GRANBERRY & ASSOCIATES, LLC

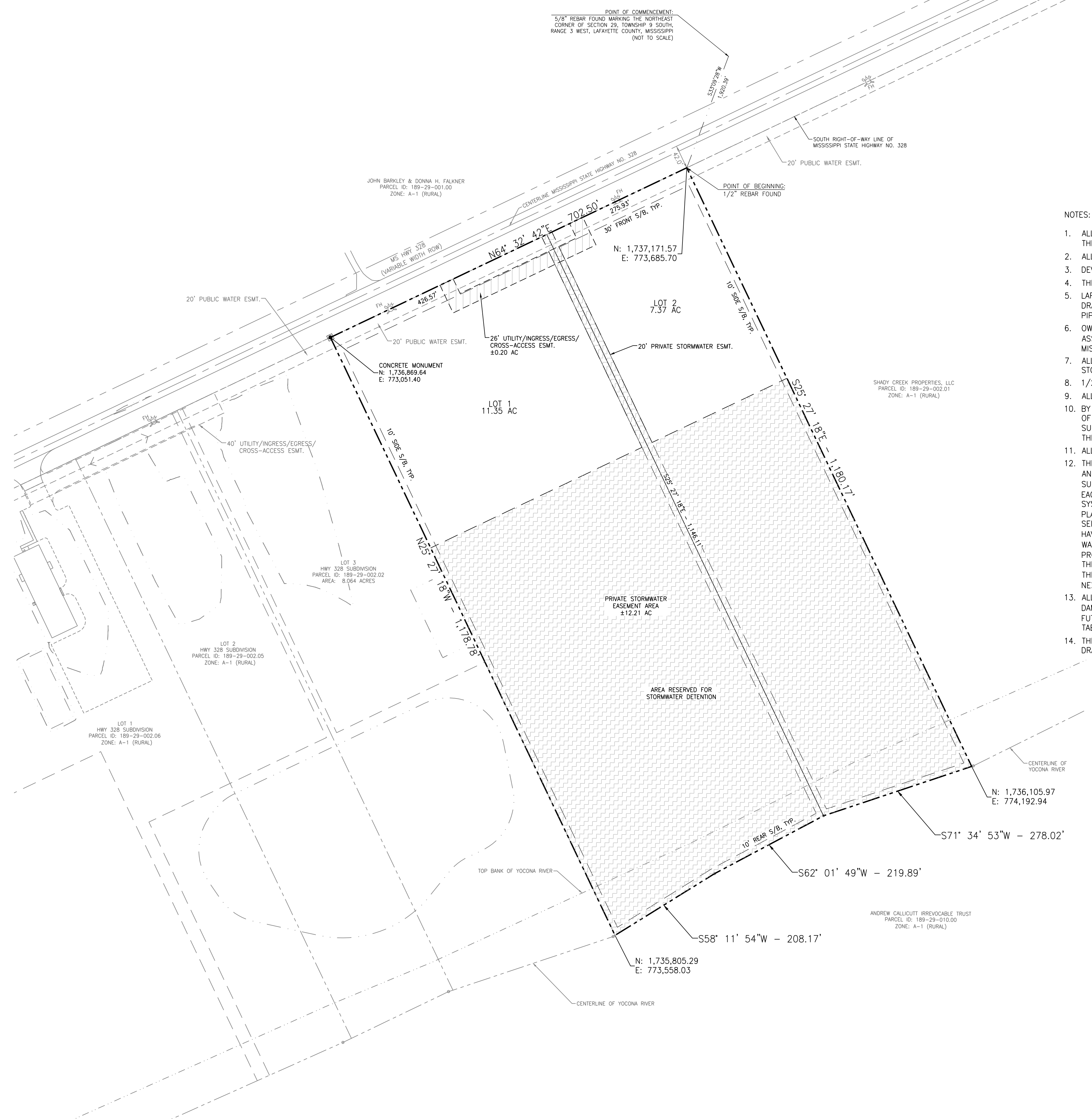


LEGEND

- THESE STANDARD SYMBOLS MAY BE FOUND IN THE DRAWING
- PROPERTY CORNERS
 - IRON PIPE/PIN
 - CONCRETE MONUMENT
 - PROPERTY BOUNDARY LINE
 - - - LOT LINE
 - - - SETBACK / BUILD-TO LINE
 - - - ADJACENT PROPERTY LINE
 - [Hatched Box] PRIVATE STORMWATER EASEMENT
 - [Dashed Box] PUBLIC WATER EASEMENT
 - [Vertical Line Box] UTILITY/INGRESS/EGRESS/CROSS-ACCESS EASEMENT



VICINITY MAP
1" = 2,000'



NOTES:

1. ALL SIDE AND REAR YARD SWALES ARE TO ACT AS DRAINAGE WAYS. THEY ARE PRIVATE AND ARE TO BE MAINTAINED BY THE LOT OWNER. THEY ARE SUBJECT TO ENFORCEMENT BY THE OWNER'S ASSOCIATION.
2. ALL SIDEWALK DRIVE/STREET CROSSINGS SHALL MEET CURRENT ADA AND COUNTY REGULATIONS.
3. DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR MAKING SURE THAT ALL SIGHT TRIANGLES ARE CLEAR OF OBSTRUCTIONS.
4. THERE IS A 5' UTILITY EASEMENT ALONG ALL FRONT, SIDE, AND REAR PROPERTY LINES ON ALL LOTS UNLESS OTHERWISE NOTED.
5. LAFAYETTE COUNTY DOES NOT OWN OR MAINTAIN ANY STORM DRAINAGE PIPES LOCATED OUTSIDE OF THE RIGHT-OF-WAY, UNLESS SAID STORM DRAINAGE IS LOCATED WITHIN A PUBLIC DRAINAGE EASEMENT. THE OWNER'S ASSOCIATION SHALL OWN AND MAINTAIN ALL STORM DRAINAGE PIPES LOCATED OUTSIDE OF THE RIGHT-OF-WAY.
6. OWNERS OF ALL LOTS SHALL BE SUBJECT TO THE COVENANTS, CONDITIONS, AND RESTRICTIONS OF YOCONA RISE SUBDIVISION OWNER'S ASSOCIATION, INC. AS RECORDED IN OFFICIAL RECORDS INST. # _____ OF THE PUBLIC RECORDS OF LAFAYETTE COUNTY, MISSISSIPPI.
7. ALL STORM WATER FOR THIS DEVELOPMENT SHALL BE CONVEYED TO THE STORMWATER DETENTION SYSTEMS LOCATED IN THE PRIVATE STORMWATER EASEMENT AREAS OR THE AS SHOWN ON THE PRELIMINARY PLAT OF YOCONA RISE SUBDIVISION.
8. 1/2" IRON PINS SHALL BE SET AT ALL PROPOSED LOT CORNERS.
9. ALL COMMON OPEN SPACES SHALL BE MAINTAINED BY THE YOCONA RISE OWNER'S ASSOCIATION.
10. BY THE ACCEPTANCE OF THE DEED TO ANY LOT OF YOCONA RISE SUBDIVISION, THE LOT OWNERS OF SAID LOTS SHALL ACKNOWLEDGE NOTICE OF AND HEREBY WAIVE ANY PRESENT OR FUTURE OBJECTIONS TO ANY FURTHER DEVELOPMENT PLANS OF ANY LOTS LOCATED WITHIN THE SUBDIVISION AND TO ANY AMENDMENTS THAT MAY BE REQUIRED TO THE FILED PLAT HEREIN AND/OR COVENANTS OF THE SUBDIVISION BY THE DEVELOPER FOR THE DEVELOPMENT OF SAID LOTS AS HEREIN SET OUT.
11. ALL AREAS OF RIGHT-OF-WAY (R.O.W.) SHOWN HEREIN ARE PUBLIC.
12. THE STORM WATER DETENTION SYSTEMS LOCATED WITHIN THE PRIVATE PRIVATE STORMWATER EASEMENT OF THIS SUBDIVISION SHALL BE OWNED AND MAINTAINED BY THE OWNER'S ASSOCIATION AND/OR BY THE PROPERTY OWNER(S) OF THE LOTS. IN THE EVENT ANY LOT BECOMES SUBDIVIDED INTO ADDITIONAL LOTS OR INDIVIDUAL SITE PLANS, SAID SITE PLANS CONFORMING TO THE COUNTY'S LAND DEVELOPMENT CODE, EACH PROPERTY OWNER SHALL OWN THEIR PRO RATA SHARE, BY AREA PERCENTAGE OF THEIR LOT, OF THE REGIONAL RETENTION/DETENTION SYSTEMS. SUCH MAINTENANCE SHALL BE PERFORMED SO AS TO ENSURE THAT THE SYSTEM OPERATES IN ACCORDANCE WITH THE APPROVED PLAN ON FILE IN THE COUNTY ENGINEER'S OFFICE. SUCH MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO REMOVAL OF SEDIMENTATION, FALLEN OBJECTS, DEBRIS AND TRASH, MOWING, OUTLET CLEANING AND REPAIR OF DRAINAGE STRUCTURES. THE COUNTY SHALL HAVE A 'RIGHT OF ACCESS' TO USE THE DRIVES, PARKING AREAS AND YARDS OF THIS PROPERTY TO MAKE INSPECTIONS OF THE STORM WATER RETENTION/DETENTION FACILITIES TO ENSURE THAT SAID MAINTENANCE HAS BEEN PROPERLY PERFORMED. IN THE EVENT THAT THE PROPERTY OWNER(S) HAVE NOT PROPERLY PERFORMED MAINTENANCE ON THE FACILITIES, TO THE EXTENT THAT THE FACILITIES POSES A THREAT TO PUBLIC HEALTH, SAFETY OR WELFARE, THE COUNTY SHALL RETAIN THE RIGHT TO PERFORM EMERGENCY REPAIRS TO THE FACILITY. THE COST OF ANY SUCH REPAIRS WILL REMAIN THE RESPONSIBILITY OF THE PROPERTY OWNER(S) AND MAY BE ADDED AS A LIEN ON THE NEXT YEAR'S TAX BILL.
13. ALL LOTS OF THIS SUBDIVISION ARE LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA AND ARE SUBJECT TO THE LAFAYETTE COUNTY FLOOD DAMAGE PREVENTION ORDINANCE. A BASE FLOOD ELEVATION (BFE) WAS DETERMINED OF 295.0' AND ALL PERMANENT STRUCTURES AND FUTURE DEVELOPMENT OF INDIVIDUAL LOTS/SITES SHALL HAVE FINISHED FLOOR ELEVATIONS AS INDICATED IN THE FINISHED FLOOR ELEVATION TABLE OR CONFORM TO THE LAFAYETTE COUNTY FLOOD DAMAGE PREVENTION ORDINANCE.
14. THE 26' UTILITY/INGRESS/EGRESS/CROSS-ACCESS EASEMENT SHALL BE FOR THE USE OF ALL LOTS 1 & 2 AND ALL ACCESS DRIVES AND DRAINAGE WAYS SHALL BE MAINTAINED BY THE YOCONA RISE SUBDIVISION OWNERS ASSOCIATION.

MINIMUM FINISHED FLOOR ELEVATION TABLE

| LOT # | MIN. FFE |
|-------|----------|
| 1 | 296.50 |
| 2 | 296.50 |

DRIVEWAY CULVERT TABLE

| LOT # | MIN. CULVERT DIAMETER (INCH) |
|-------|------------------------------|
| 1 | 18 |
| 2 | 18 |

FEMA NOTE:

THIS PROPERTY IS LOCATED IN ZONE "A", WHICH IS DESIGNATED AS A SPECIAL FLOOD HAZARD AREA INUNDED BY 100-YR FLOOD, WITHOUT BASE FLOOD ELEVATIONS DETERMINED PER FLOOD INSURANCE RATE MAP, MAP NO. 28071C0270C, EFFECTIVE DATE: NOVEMBER 26, 2010.

BENCHMARK:

BENCHMARK (B.M.): NAIL SET AT THE EDGE OF PAVEMENT HAVING A KNOWN ELEVATION OF 294.69 AND BEING LOCATED SOUTH 82.26 FEET AND WEST 242.90 FEET OF THE POB.

| | | |
|---|--|--------------|
| PRELIMINARY PLAT | | |
| YOCONA RISE SUBDIVISION | | |
| LAFAYETTE COUNTY, MISSISSIPPI | | |
| A-1 (RURAL AGRICULTURAL LOTS): 2 TOTAL AREA: 18.72 AC | | |
| OWNER: HIGHWAY 328, LLC 31 HWY 328 OXFORD, MS 38655 | ENGINEER: GRANBERRY & ASSOCIATES 1686 PADINGTON PARK LANE GERMANTOWN, TN 38138 | |
| DATE: JUNE 2026 | SCALE: 1"=100' | SHEET 1 OF 2 |

OWNERS CERTIFICATE (DEVELOPER)

I, J.W. McCURDY, MANAGING MEMBER OF HIGHWAY 328, LLC, AND AS OWNER OF THE TRACT OF LAND HEREIN DESCRIBED, CERTIFY THAT I DID CAUSE SAID LAND TO BE SUBDIVIDED AND PLATTED AS SHOWN ON THIS PLAT OF YOCONA RISE SUBDIVISION, AND THE STREETS ARE DEDICATED TO THE USE OF THE PUBLIC FOREVER. UTILITY EASEMENTS ARE ALSO DEDICATED TO THE PUBLIC AND/OR PRIVATE UTILITY COMPANIES WHICH SERVE THIS SUBDIVISION, SUBJECT TO THE REGULATIONS OF AND APPROVAL BY THE CITY OF OXFORD. SUCH SUBDIVISION AND DEDICATION IS THE OWNER'S OWN ACT AND DEED OF HIS OWN FREE WILL.

WITNESS MY HAND AND SIGNATURE THIS THE _____ DAY OF _____, 20____

SIGNED: _____
J.W. McCURDY, MANAGING MEMBER

NOTARY'S CERTIFICATE
STATE OF MISSISSIPPI
COUNTY OF LAFAYETTE

PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED AUTHORITY IN AND FOR THE SAID COUNTY AND STATE, ON THIS THE _____ DAY OF _____, 20____ WITHIN MY JURISDICTION, THE WITHIN NAMED J.W. McCURDY, WHO ACKNOWLEDGED THAT HE IS THE MANAGING MEMBER OF HIGHWAY 328, LLC, AND THAT IN SAID REPRESENTATIVE CAPACITY, HE EXECUTED THE ABOVE AND FOREGOING INSTRUMENT, AFTER FIRST HAVING BEEN DULY AUTHORIZED TO DO SO.

MY COMMISSION EXPIRES _____

NOTARY PUBLIC

MORTGAGEE'S CERTIFICATE

TRUSTMARK NATIONAL BANK, MORTGAGEE OF THE PROPERTY HEREIN, HEREBY ADOPT THIS AS MY PLAN OF SUBDIVISION AND DEDICATE THE UTILITY EASEMENTS AS SHOWN ON THE PLAN OF THE SUBDIVISION TO THE CITY OF OXFORD AND LAFAYETTE COUNTY, MISSISSIPPI, FOR THE PUBLIC USE FOREVER. I CERTIFY THAT I AM THE MORTGAGEE IN 'FEE' SIMPLE OF THE PROPERTY AND THAT NO TAXES HAVE BECOME DUE AND PAYABLE THIS THE _____ DAY OF _____, 20____

SIGNED: _____
KEVIN STRINGER, FIRST VICE PRESIDENT
TRUSTMARK NATIONAL BANK

NOTARY'S CERTIFICATE
STATE OF MISSISSIPPI
COUNTY OF LAFAYETTE

PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED AUTHORITY IN AND FOR THE SAID COUNTY AND STATE, ON THIS THE _____ DAY OF _____, 20____ WITHIN MY JURISDICTION, THE WITHIN NAMED KEVIN STRINGER, WHO ACKNOWLEDGED THAT HE IS THE FIRST VICE PRESIDENT OF TRUSTMARK NATIONAL BANK, AND THAT IN SAID REPRESENTATIVE CAPACITY, HE EXECUTED THE ABOVE AND FOREGOING INSTRUMENT, AFTER FIRST HAVING BEEN DULY AUTHORIZED TO DO SO.

MY COMMISSION EXPIRES _____

NOTARY PUBLIC

FILING CERTIFICATION BY CHANCERY CLERK
STATE OF MISSISSIPPI

COUNTY OF LAFAYETTE

PERSONALLY APPEARED BEFORE ME, SHERRY WALL, CHANCERY CLERK, IN AND FOR LAFAYETTE COUNTY, MISSISSIPPI, J.W. McCURDY, WHO EXECUTED THE ATTACHED OWNER'S CERTIFICATE THAT WAS SIGNED AND DELIVERED OF HIS OWN FREE ACT AND DEED.

SHERRY WALL - CHANCERY CLERK
COUNTY OF LAFAYETTE
STATE OF MISSISSIPPI

WITNESS MY HAND AND SIGNATURE ON THIS, THE _____ DAY OF _____, 20____ AND WAS DULY RECORDED IN PLAT CABINET _____, SLIDE _____,

SHERRY WALL - CHANCERY CLERK

RESTRICTIVE COVENANTS

THE PROPERTY LOCATED IN LAFAYETTE CO., MISSISSIPPI, AS SHOWN ON THIS PLAT IS SUBJECT TO THE RESTRICTIVE COVENANTS WHICH ARE SET OUT IN INSTRUMENT RECORDED IN INSTRUMENT NUMBER _____ OF THE DEED RECORDS OF LAFAYETTE CO., MISSISSIPPI.

CHANCERY COURT CLERK

ENGINEER'S CERTIFICATE:

I CERTIFY THAT HWY 328 SUBDIVISION IS IN CONFORMANCE WITH THE DESIGN REQUIREMENTS OF THE SUBDIVISION REGULATIONS AND SPECIFIC CONDITIONS IMPOSED ON THIS DEVELOPMENT, AND TAKES INTO ACCOUNT ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS AND REGULATIONS.

WITNESS MY HAND AND SIGNATURE ON THIS, THE _____ DAY OF _____, 20____

SIGNED: _____
JOHN GRANBERRY, P.E.
LICENSE#: 18894

SURVEYOR'S CERTIFICATE

I CERTIFY THAT THE WITHIN PLAT OF HWY 328 SUBDIVISION IN LAFAYETTE COUNTY, MISSISSIPPI, IS A TRUE AND CORRECT REPRESENTATION OF SAID SUBDIVISION AND THAT I SIGNED AND DELIVERED IT AS MY OWN ACT AND DEED.

WITNESS MY HAND AND SIGNATURE ON THIS, THE _____ DAY OF _____, 20____

SIGNED: _____
RICHARD DANIELS, PLS
MISSISSIPPI CERTIFICATE #: 02922

CERTIFICATE OF ACCEPTANCE
LAFAYETTE COUNTY PLANNING COMMISSION

APPROVED AND RECOMMENDED FOR ACCEPTANCE BY THE LAFAYETTE COUNTY PLANNING COMMISSION, THIS THE _____ DAY OF _____, 20____.

CHAIRMAN, PLANNING COMMISSION
LAFAYETTE COUNTY

CERTIFICATE OF ACCEPTANCE
LAFAYETTE COUNTY BOARD OF SUPERVISORS

ACCEPTED AND APPROVED BY THE LAFAYETTE COUNTY BOARD OF SUPERVISORS, THIS THE _____ DAY OF _____, 20____ BY ORDER OF THE BOARD OF SUPERVISORS RECORDED IN INSTRUMENT # _____.

SIGNED: _____ ATTEST: _____
PRESIDENT, BOARD OF SUPERVISORS SHERRY WALL, CHANCERY CLERK
LAFAYETTE COUNTY, MISSISSIPPI LAFAYETTE COUNTY, MISSISSIPPI

STATE OF MISSISSIPPI
COUNTY OF LAFAYETTE

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON WAS FILED FOR RECORD IN MY OFFICE AT _____ O'CLOCK _____M., ON THE _____ DAY OF _____, 20____ AND WAS IMMEDIATELY ENTERED UPON THE PROPER INDEX AND DULY RECORDED IN PLAT CABINET _____, PAGE _____.

CHANCERY COURT CLERK

DESCRIPTION:

A TRACT OF LAND BEING A FRACTION OF THE EAST HALF (E 1/2) OF SECTION 29, TOWNSHIP 9 SOUTH, RANGE 3 WEST, LAFAYETTE COUNTY, MISSISSIPPI; BEING DESCRIBED IN MORE DETAIL AS FOLLOWS:

COMMENCING AT A 5/8" REBAR FOUND MARKING THE NORTHEAST CORNER OF SECTION 29, TOWNSHIP 9 SOUTH, RANGE 3 WEST, LAFAYETTE COUNTY, MISSISSIPPI; RUN THENCE S 33° 09' 28" W FOR A DISTANCE OF 1,920.39 FEET TO A 1/2" REBAR FOUND ON THE SOUTH RIGHT-OF-WAY LINE OF MISSISSIPPI STATE HIGHWAY NO. 328 (42.46 FEET FROM CENTERLINE), SAID POINT BEING THE POINT OF BEGINNING OF THIS DESCRIPTION; RUN THENCE S 25° 53' 42" E LEAVING SAID SOUTH RIGHT-OF-WAY LINE FOR A DISTANCE OF 1,180.17 FEET TO A POINT IN THE CENTERLINE OF YOCONA RIVER; RUN THENCE ALONG SAID CENTERLINE AS FOLLOWS: RUN THENCE S 71° 08' 29" W FOR A DISTANCE OF 278.02 FEET TO A POINT; RUN THENCE S 61° 35' 25" W FOR A DISTANCE OF 219.89 FEET TO A POINT; RUN THENCE S 57° 45' 30" W FOR A DISTANCE OF 208.17 FEET TO A POINT; RUN THENCE N 25° 53' 42" W LEAVING SAID CENTERLINE FOR A DISTANCE OF 1,178.78 FEET TO A POINT ON THE AFOREMENTIONED SOUTH RIGHT-OF-WAY LINE OF MISSISSIPPI STATE HIGHWAY NO. 328 (42.83 FEET FROM CENTERLINE); RUN THENCE N 64° 06' 18" E ALONG SAID SOUTH RIGHT-OF-WAY LINE FOR A DISTANCE OF 702.50 FEET TO THE POINT OF BEGINNING OF THE HEREIN DESCRIBED TRACT OF LAND. SAID TRACT CONTAINS 18.72 ACRES, MORE OR LESS.

"TRUE" GEODETIC BEARINGS WERE ESTABLISHED FROM GPS OBSERVATION BY WILLIAMS ENGINEERING CONSULTANTS, INC. (662-236-9675).

NOTES:

- ALL SIDE AND REAR YARD SWALES ARE TO ACT AS DRAINAGE WAYS. THEY ARE PRIVATE AND ARE TO BE MAINTAINED BY THE LOT OWNER. THEY ARE SUBJECT TO ENFORCEMENT BY THE OWNER'S ASSOCIATION.
- ALL SIDEWALK DRIVE/STREET CROSSINGS SHALL MEET CURRENT ADA AND COUNTY REGULATIONS.
- DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR MAKING SURE THAT ALL SIGHT TRIANGLES ARE CLEAR OF OBSTRUCTIONS.
- THERE IS A 5' UTILITY EASEMENT ALONG ALL FRONT, SIDE, AND REAR PROPERTY LINES ON ALL LOTS UNLESS OTHERWISE NOTED.
- LAFAYETTE COUNTY DOES NOT OWN OR MAINTAIN ANY STORM DRAINAGE PIPES LOCATED OUTSIDE OF THE RIGHT-OF-WAY, UNLESS SAID STORM DRAINAGE IS LOCATED WITHIN A PUBLIC DRAINAGE EASEMENT. THE OWNER'S ASSOCIATION SHALL OWN AND MAINTAIN ALL STORM DRAINAGE PIPES LOCATED OUTSIDE OF THE RIGHT-OF-WAY.
- OWNERS OF ALL LOTS SHALL BE SUBJECT TO THE COVENANTS, CONDITIONS, AND RESTRICTIONS OF YOCONA RISE SUBDIVISION OWNER'S ASSOCIATION, INC. AS RECORDED IN OFFICIAL RECORDS INST. # _____ OF THE PUBLIC RECORDS OF LAFAYETTE COUNTY, MISSISSIPPI.
- ALL STORM WATER FOR THIS DEVELOPMENT SHALL BE CONVEYED TO THE STORMWATER DETENTION SYSTEMS LOCATED IN THE PRIVATE STORMWATER EASEMENT AREAS OR THE AS SHOWN ON THE PRELIMINARY PLAT OF YOCONA RISE SUBDIVISION.
- 1/2" IRON PINS SHALL BE SET AT ALL PROPOSED LOT CORNERS.
- ALL COMMON OPEN SPACES SHALL BE MAINTAINED BY THE YOCONA RISE OWNER'S ASSOCIATION.
- BY THE ACCEPTANCE OF THE DEED TO ANY LOT OF YOCONA RISE SUBDIVISION, THE LOT OWNERS OF SAID LOTS SHALL ACKNOWLEDGE NOTICE OF AND HEREBY WAIVE ANY PRESENT OR FUTURE OBJECTIONS TO ANY FURTHER DEVELOPMENT PLANS OF ANY LOTS LOCATED WITHIN THE SUBDIVISION AND TO ANY AMENDMENTS THAT MAY BE REQUIRED TO THE FILED PLAT HEREIN AND/OR COVENANTS OF THE SUBDIVISION BY THE DEVELOPER FOR THE DEVELOPMENT OF SAID LOTS AS HEREIN SET OUT.
- ALL AREAS OF RIGHT-OF-WAY (R.O.W.) SHOWN HEREIN ARE PUBLIC.
- THE STORM WATER DETENTION SYSTEMS LOCATED WITHIN THE PRIVATE PRIVATE STORMWATER EASEMENT OF THIS SUBDIVISION SHALL BE OWNED AND MAINTAINED BY THE OWNER'S ASSOCIATION AND/OR BY THE PROPERTY OWNER(S) OF THE LOTS. IN THE EVENT ANY LOT BECOMES SUBDIVIDED INTO ADDITIONAL LOTS OR INDIVIDUAL SITE PLANS, SAID SITE PLANS CONFORMING TO THE COUNTY'S LAND DEVELOPMENT CODE, EACH PROPERTY OWNER SHALL OWN THEIR PRO RATA SHARE, BY AREA PERCENTAGE OF THEIR LOT, OF THE REGIONAL RETENTION/DETENTION SYSTEMS. SUCH MAINTENANCE SHALL BE PERFORMED SO AS TO ENSURE THAT THE SYSTEM OPERATES IN ACCORDANCE WITH THE APPROVED PLAN ON FILE IN THE COUNTY ENGINEER'S OFFICE. SUCH MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO REMOVAL OF SEDIMENTATION, FALLEN OBJECTS, DEBRIS AND TRASH, MOWING, OUTLET CLEANING AND REPAIR OF DRAINAGE STRUCTURES. THE COUNTY SHALL HAVE A 'RIGHT OF ACCESS' TO USE THE DRIVES, PARKING AREAS AND YARDS OF THIS PROPERTY TO MAKE INSPECTIONS OF THE STORM WATER RETENTION/DETENTION FACILITIES TO ENSURE THAT SAID MAINTENANCE HAS BEEN PROPERLY PERFORMED. IN THE EVENT THAT THE PROPERTY OWNER(S) HAVE NOT PROPERLY PERFORMED MAINTENANCE ON THE FACILITIES, TO THE EXTENT THAT THE FACILITIES POSES A THREAT TO PUBLIC HEALTH, SAFETY OR WELFARE, THE COUNTY SHALL RETAIN THE RIGHT TO PERFORM EMERGENCY REPAIRS TO THE FACILITY. THE COST OF ANY SUCH REPAIRS WILL REMAIN THE RESPONSIBILITY OF THE PROPERTY OWNER(S) AND MAY BE ADDED AS A LIEN ON THE NEXT YEAR'S TAX BILL.
- ALL LOTS OF THIS SUBDIVISION ARE LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA AND ARE SUBJECT TO THE LAFAYETTE COUNTY FLOOD DAMAGE PREVENTION ORDINANCE. A BASE FLOOD ELEVATION (BFE) WAS DETERMINED OF 295.0' AND ALL PERMANENT STRUCTURES AND FUTURE DEVELOPMENT OF INDIVIDUAL LOTS/SITES SHALL HAVE FINISHED FLOOR ELEVATIONS AS INDICATED IN THE FINISHED FLOOR ELEVATION TABLE OR CONFORM TO THE LAFAYETTE COUNTY FLOOD DAMAGE PREVENTION ORDINANCE.
- THE 26' UTILITY/INGRESS/EGRESS/CROSS-ACCESS EASEMENT SHALL BE FOR THE USE OF ALL LOTS 1 & 2 AND ALL ACCESS DRIVES AND DRAINAGE WAYS SHALL BE MAINTAINED BY THE YOCONA RISE SUBDIVISION OWNERS ASSOCIATION.

| | | |
|--|---|--------------|
| PRELIMINARY PLAT | | |
| YOCONA RISE SUBDIVISION | | |
| LAFAYETTE COUNTY, MISSISSIPPI | | |
| A-1 (RURAL AGRICULTURAL LOTS): 2 TOTAL AREA: 18.72 AC | | |
| OWNER: HIGHWAY 328, LLC 31 HWY 328 OXFORD, MS 38665 | ENGINEER: GRANBERRY & ASSOCIATES 1686 PADINGTON PARK LANE GERMANTOWN, TN 38138 | |
| DATE: JUNE 2026 | SCALE: 1"=100' | SHEET 2 OF 2 |

FEMA NOTE:
THIS PROPERTY IS LOCATED IN ZONE "A", WHICH IS DESIGNATED AS A SPECIAL FLOOD HAZARD AREA INUNDATED BY 100-YR FLOOD, WITHOUT BASE FLOOD ELEVATIONS DETERMINED PER FLOOD INSURANCE RATE MAP, MAP NO. 28071C0270C, EFFECTIVE DATE: NOVEMBER 26, 2010.

BENCHMARK:
BENCHMARK (B.M.): NAIL SET AT THE EDGE OF PAVEMENT HAVING A KNOWN ELEVATION OF 294.69 AND BEING LOCATED SOUTH 82.26 FEET AND WEST 242.90 FEET OF THE POB.

FINISHED FLOOR ELEVATION TABLE

| LOT # | MIN. FFE |
|-------|----------|
| 1 | 296.50 |
| 2 | 296.50 |

DRIVEWAY CULVERT TABLE

| LOT # | MIN. CULVERT DIAMETER (INCH) |
|-------|------------------------------|
| 1 | 18 |
| 2 | 18 |



MDOT PERMIT REQ'D PRIOR TO WORK PERFORMED ON MDOT ROW. *SEE LOT 1 SITE PLAN AND MDOT PERMIT

FUTURE DRIVEWAY CENTERLINE *SEE NOTE 10, THIS SHEET.

JOHN BARKLEY & DONNA H. FALKNER PARCEL ID: 189-29-001.00 ZONE: A-1 (RURAL)

4'x4' BOX CULVERT FL=287.60 FL=287.52

PAD GRADING LIMITS, TYP.

3:1 SLOPE, TYP. *ALL CUT/FILL SLOPES SHALL BE MAX. 3:1

SIDE YARD SWALE, TYP. *SEE DETAIL THIS SHEET

DETECTION POND (DRY POND)

18" FES INV OUT: 285.50' - 24" HDPE

10' EMERGENCY SPILLWAY, TYP. *SEE DETAIL THIS SHEET SEE NOTE 11, THIS SHEET

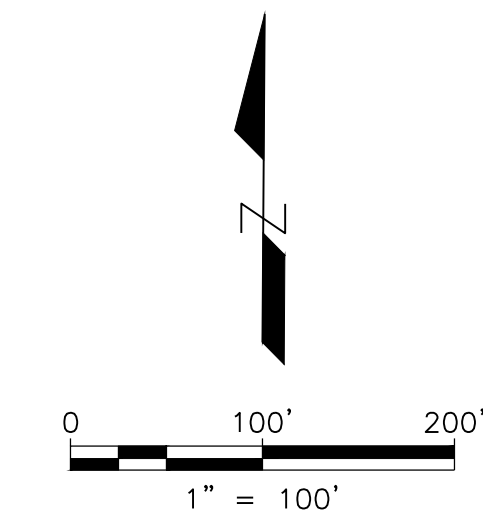
48" - 24" HDPE @ 0.75%

24" FES INV IN: 285.14' - 24" HDPE

15'x15' - 200# RIPRAP (1.5' THICK) W/ GEOTEXTILE FABRIC *TIE RIPRAP INTO EXISTING DITCH & LINE SIDES TO PREVENT EROSION OF BANKS

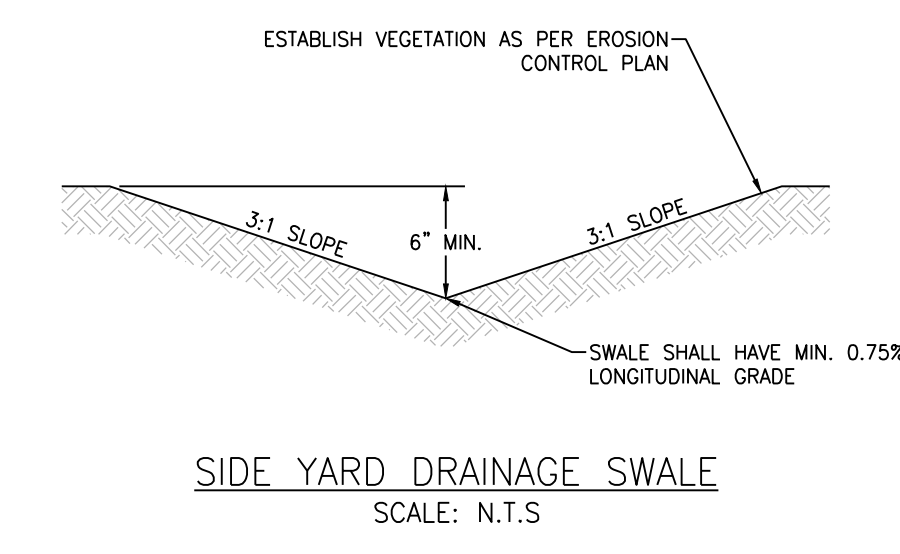
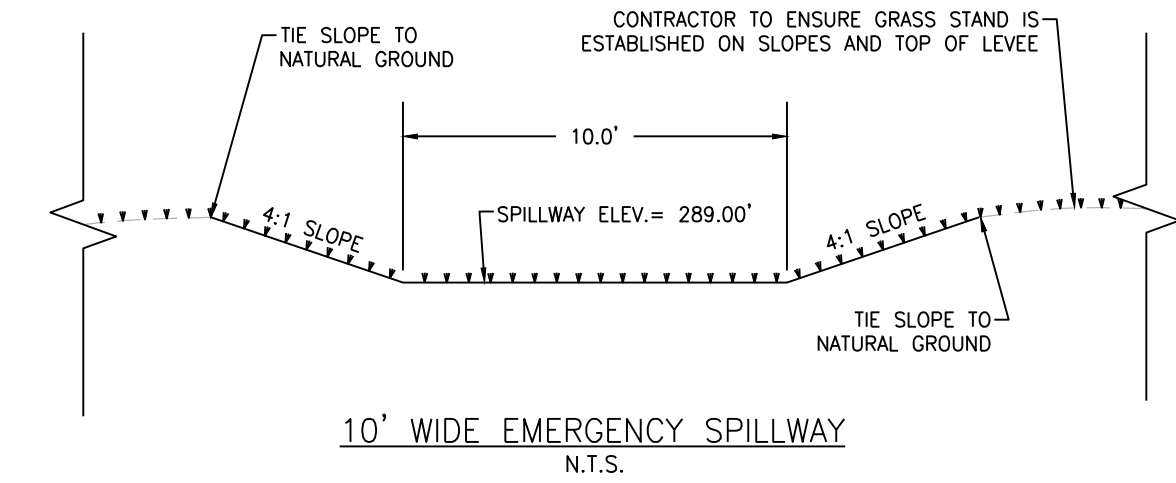
FEMA NOTE: THIS PROPERTY IS LOCATED IN ZONE "A", WHICH IS DESIGNATED AS A SPECIAL FLOOD HAZARD AREA INUNDATED BY 100-YR FLOOD, WITHOUT BASE FLOOD ELEVATIONS DETERMINED PER FLOOD INSURANCE RATE MAP, MAP NO. 28071C0270C, EFFECTIVE DATE: NOVEMBER 26, 2010.

BENCHMARK: BENCHMARK (B.M.): NAIL SET AT THE EDGE OF PAVEMENT HAVING A KNOWN ELEVATION OF 294.69 AND BEING LOCATED SOUTH 82.26 FEET AND WEST 242.90 FEET OF THE POB.



LEGEND

- These standard symbols may be found in the drawing.
- PROPERTY LINES
 - ADJOINING PROP. LINES
 - BACK OF CURB
 - FACE OF CURB
 - SIDEWALK
 - EDGE OF PAVEMENT
 - ROADWAY CENTERLINE
 - EX. OH ELECTRIC LINES
 - EX. UG ELECTRIC LINES
 - EX. WATER LINES
 - EX. SEWER LINES
 - EX. STORM DRAIN
 - EX. GAS LINE
 - EX. UG CABLE
 - EX. FIBER OPTIC
 - EX. FENCE LINES
 - EX. SIDEWALK
 - EX. EASEMENT
 - PR. WATER LINE
 - PR. SEWER LINE
 - PR. STORM DRAIN
 - DRAINAGE BASIN
 - EASEMENT
- UTILITY POLE
 - FIRE HYDRANT
 - LIGHT POLE
 - TELEPHONE PEDESTAL
 - WATER VALVE
 - WATER METER
 - SEWER MANHOLE
 - DRAINAGE MANHOLE
 - ELECTRICAL BOX



GRADING & DRAINAGE NOTES:

- ALL WORK AND MATERIALS SHALL CONFORM WITH ALL LAFAYETTE COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO DIGGING. EXISTING UTILITIES SHOWN ON PLAN ARE APPROXIMATE. ANY DAMAGE TO SUCH UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- LAFAYETTE COUNTY SHALL HAVE THE RIGHT TO ENTER THE PROPERTY FOR THE PURPOSE OF MAINTAINING THE DRAINAGE, WATER, AND SEWER SYSTEMS LOCATED WITHIN PUBLIC EASEMENTS. HOWEVER, THE COUNTY DOES NOT HAVE THE RESPONSIBILITY TO REPAIR ANY DAMAGE TO THE YARDS, PARKING LOTS, STREETS OR DRIVES CAUSED BY SOIL SETTLEMENT OR OTHER REASONS THAT ARE NOT DIRECTLY CAUSED BY THE COUNTY'S ACTION OF PERFORMING MAINTENANCE TO THE UNDERGROUND SYSTEMS.
- ALL PIPE SHALL BE HIGH DENSITY POLYETHYLENE (HDPE) PIPE, UNLESS OTHERWISE NOTED.
- SANITARY SEWER FROM THIS DEVELOPMENT WILL BE TREATED BY INDIVIDUAL ONSITE WASTE WATER TREATMENT SYSTEMS.
- DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR MAKING SURE THAT ALL SIGHT TRIANGLES ARE CLEAR OF OBSTRUCTIONS.
- INDIVIDUAL LOT OWNERS ARE RESPONSIBLE FOR THE COST AND INSTALLATION OF EACH RESPECTIVE DRIVEWAY CULVERT. SAID DRIVEWAY CULVERT SHALL CONFORM TO THE MINIMUM SIZE AS SHOWN ON THE "DRIVEWAY CULVERT TABLE," AS PER THIS SHEET. CULVERTS SHALL CONFORM TO ADJACENT DITCH GRADES AND BE INSTALLED, SUCH THAT DRAINAGE CONVEYANCE THROUGH DRIVEWAY CULVERT DOES NOT ADVERSELY AFFECT PUBLIC RIGHTS OF WAY OR ADJACENT LOT OWNERS. SEE "DRIVEWAY CULVERT TABLE" NOTE [1] FOR LOTS THAT SHALL NOT HAVE A CULVERT INSTALLED.
- DRAINAGE BASIN AREAS SHOWN WITH BOXES ARE SUBBASINS OF OVERALL BASINS NOTED ON POST DEVELOPED DRAINAGE SHEET. INDIVIDUAL SUBBASINS ARE DRAINING TO STRUCTURE OR LOCATIONS AS INDICATED IN SAID BOX.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, THROUGH OBSERVATION TO DETERMINE THE SIZE OF RIPRAP STONE TO SUFFICIENT TO CREATE THE TRANSITION AT THE CONFLUENCE OF THE DETENTION POND DISCHARGE WITH THE MAIN CHANNEL. RIPRAP SHALL BE MINIMUM 200# SIZE AND SHALL REMAIN IN PLACE DURING AND FUNCTIONING DURING ALL FLOOD EVENTS.
- FINAL GRADING & PERMITTING OF THE INDIVIDUAL DRIVEWAYS/DRIVEWAY CONNECTIONS FOR EACH LOT SHALL BE ADDRESSED AT TIME OF SITE PLAN SUBMITTAL/DEVELOPMENT OF SAID LOT(S) AND SHALL BE THE RESPONSIBILITY OF FUTURE OWNER/DEVELOPER OF LOT. NO DRIVEWAY GRADING ON MDOT ROW SHALL COMMENCE AS PART OF THESE PLANS.
- EMERGENCY SPILLWAY SHALL DAYLIGHT TO NATURAL GROUND TO ENSURE POSITIVE GRADE TO ALLOW WATER TO BE CONVEYED AT ELEVATION AS SHOWN ON DETAIL. FINAL LOCATION SHALL BE FIELD BE ADJUSTED AS NEEDED.
- ALL LOTS OF THIS SUBDIVISION ARE LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA AND ARE SUBJECT TO THE LAFAYETTE COUNTY FLOOD DAMAGE PREVENTION ORDINANCE. A BASE FLOOD ELEVATION (BFE) WAS DETERMINED OF 295.0' AND ALL PERMANENT STRUCTURES AND FUTURE DEVELOPMENT OF INDIVIDUAL LOTS/SITES SHALL HAVE FINISHED FLOOR ELEVATIONS AS INDICATED IN THE FINISHED FLOOR ELEVATION TABLE OR CONFORM TO THE LAFAYETTE COUNTY FLOOD DAMAGE PREVENTION ORDINANCE.

| REVISION | | |
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| ITEM NO. | DESCRIPTION OF CHANGE | APPROVAL DATE |
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DIVISION OF ENGINEERING
GRADING & DRAINAGE
LAFAYETTE COUNTY, MS

YOCONA RISE SUBDIVISION

OWNER: HIGHWAY 328, LLC
ENGINEER: GRANBERRY & ASSOCIATES, LLC

| | | |
|-------------------------------|-----------------|-----------------------|
| SURVEY: WILLIAMS ENG. | DATE: 9/20/2022 | PROJECT NO.: 1000-162 |
| DESIGN BY: J. GRANBERRY, P.E. | DATE: 5/15/2026 | BOOK: |
| DRAWN BY: J. GRANBERRY, P.E. | DATE: 5/15/2026 | SCALE: 1" = 100' |

DETENTION POND - DISCHARGE PIPE TABLE

| UPSTREAM INV. ELEV. | DOWNSTREAM INV. ELEV. | PIPE DIA (IN) | LENGTH (FT) | SLOPE | D. A. (AC) |
|---------------------|-----------------------|---------------|-------------|-------|------------|
| 284.00 | 283.64 | 24 | 48 | 0.75% | 10.85 |

ALL PIPE SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE), UNLESS OTHERWISE NOTED.
ALL PIPES ARE PRIVATE UNLESS OTHERWISE NOTED.

STORMWATER MANAGEMENT DATA - DETENTION POND

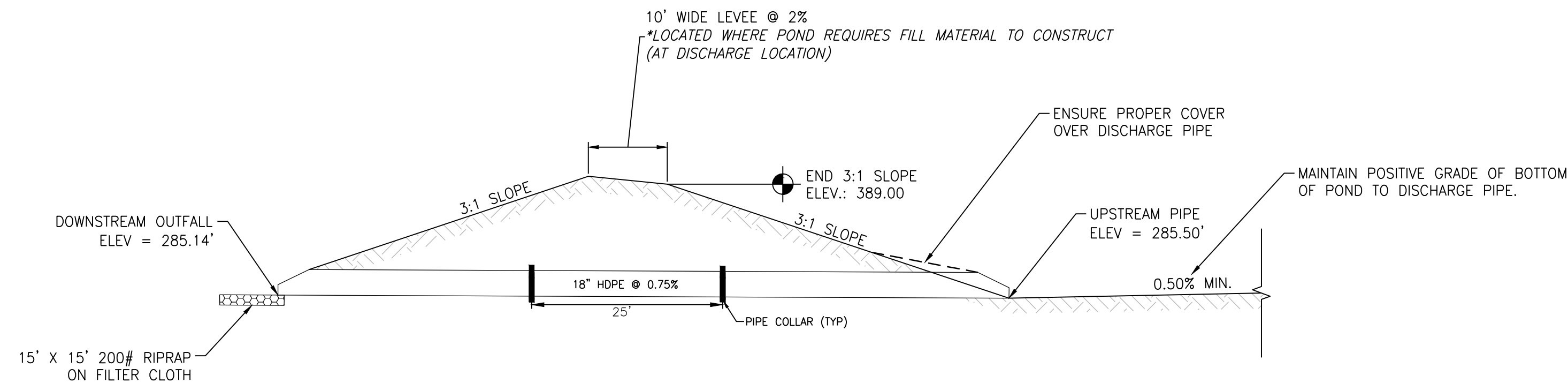
| DESIGN STORM EVENT | 18" DIA. DISCHARGE PIPE FLOW RATE Q (CFS) | 10' EMERGENCY SPILLWAY FLOW RATE Q (CFS) | TOTAL DISCHARGE Q _T (CFS) | DISCHARGE VELOCITY (FT/S) | STORMWATER ELEVATION (FT) | STORED VOLUME ^[1] (CF) |
|--------------------|---|--|--------------------------------------|---------------------------|---------------------------|-----------------------------------|
| 25-YR | 8.50 ic | 0.00 | 8.50 ic | 4.51 | 287.33 | 46,716 |
| 100-YR | 9.19 ic | 0.00 | 9.19 ic | 4.87 | 287.58 | 69,258 |

* oc = Outlet Control; ic - Inlet Control; s = Values adjusted for submergence

[1] Volume stored above normal pool or bottom of pond (dry pond), as it relates to storm water attenuation.

OUTFALL #3 FLOW RATE DATA

| CONDITION | DRAINAGE AREA (ACRE) | SCS CURVE NUMBER, CN | TIME OF CONCENTRATION, T (MIN) | RAINFALL EVENT | |
|--|----------------------|----------------------|--------------------------------|----------------|--------|
| | | | | 25-YR | 100-YR |
| PREDEVELOPED OUTFALL #3 (E-3) | 11.80 | 69.0 | 29.9 | 35.88 | 51.16 |
| POST DEVELOPED OUTFALL #3 (COMBINED P-3a & P-3b) | 11.92 | 74.0 | 18.9 | 57.42 | 78.76 |
| POST DEVELOPED DETAINED (P-3a FLOW ROUTED THROUGH DETENTION POND & P-3b) | 11.92 | 74.0 | N/A | 24.38 | 32.96 |



CROSS SECTION A-A (DETENTION POND)
SCALE: N.T.S.

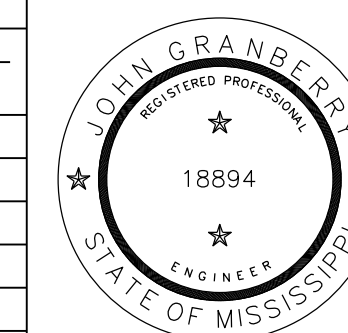
GRADING & DRAINAGE NOTES:

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FEMA NOTE:
THIS PROPERTY IS LOCATED IN ZONE "A", WHICH IS DESIGNATED AS A SPECIAL FLOOD HAZARD AREA INUNDATED BY 100-YR FLOOD, WITHOUT BASE FLOOD ELEVATIONS DETERMINED PER FLOOD INSURANCE RATE MAP, MAP NO. 28071C0270C, EFFECTIVE DATE: NOVEMBER 26, 2010.

BENCHMARK:
BENCHMARK (B.M.): NAIL SET AT THE EDGE OF PAVEMENT HAVING A KNOWN ELEVATION OF 294.69 AND BEING LOCATED SOUTH 82.26 FEET AND WEST 242.90 FEET OF THE POB.

| REVISION | DESCRIPTION OF CHANGE | APPROVAL DATE |
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DIVISION OF ENGINEERING
STORMWATER PIPE & DISCHARGE TABLES
LAFAYETTE COUNTY, MS

SURVEY: WILLIAMS ENG. DATE: 9/20/2022 PROJECT NO.: 1000-162
DESIGN BY: J. GRANBERRY, P.E. DATE: 5/15/2026 BOOK:
DRAWN BY: J. GRANBERRY, P.E. DATE: 5/15/2026 SCALE: 1" = 100'

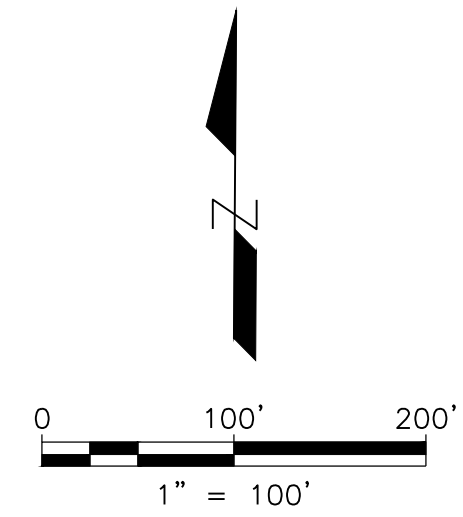
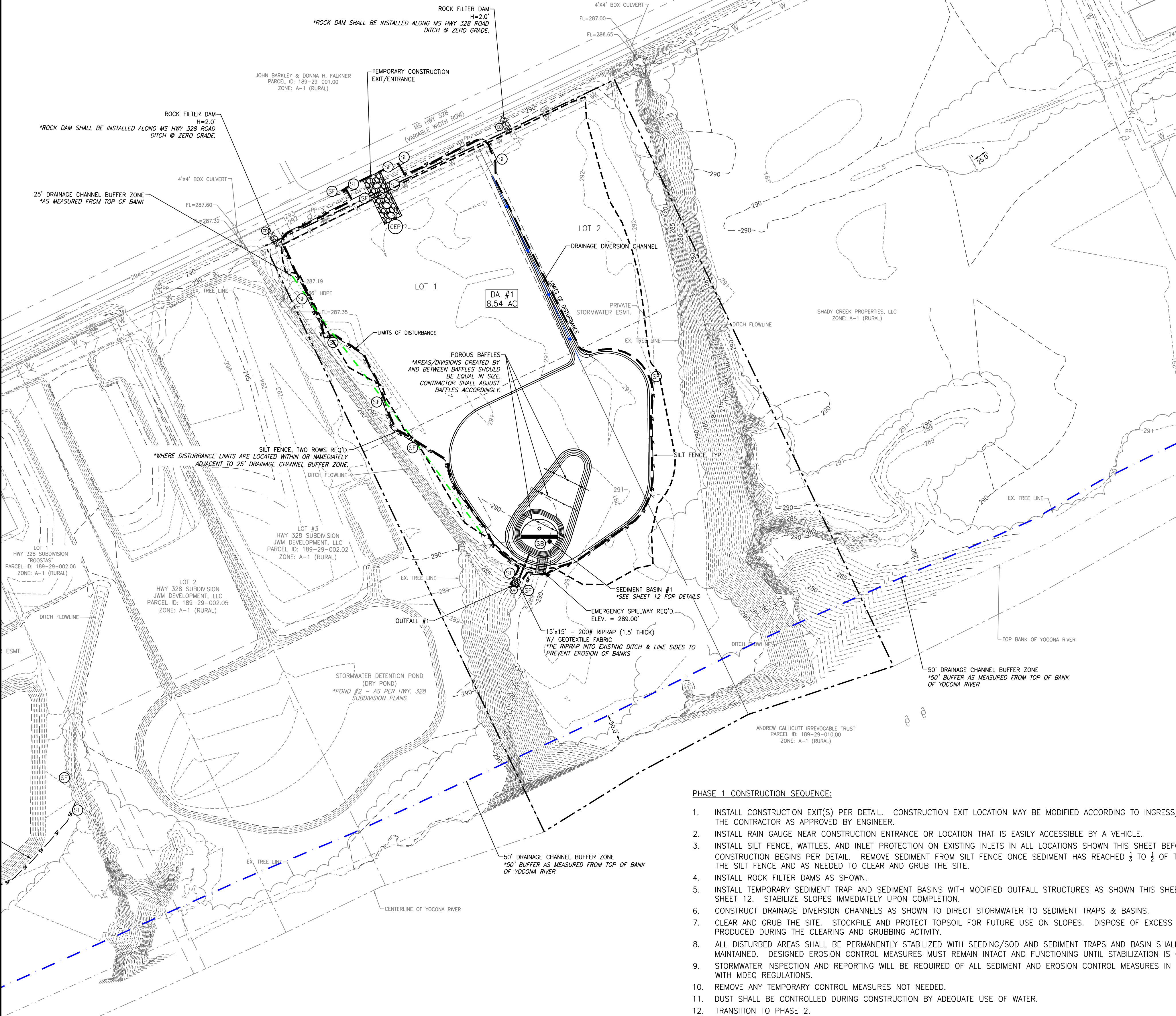
YOCONA RISE SUBDIVISION
OWNER: HIGHWAY 328, LLC
ENGINEER: GRANBERRY & ASSOCIATES, LLC

FEMA NOTE:
THIS PROPERTY IS LOCATED IN ZONE "A", WHICH IS DESIGNATED AS A SPECIAL FLOOD HAZARD AREA INUNDATED BY 100-YR FLOOD, WITHOUT BASE FLOOD ELEVATIONS DETERMINED PER FLOOD INSURANCE RATE MAP, MAP NO. 28071C0270C, EFFECTIVE DATE: NOVEMBER 26, 2010.

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YOCONA RIVER BUFFER ZONE NOTE:

IT IS ESPECIALLY IMPORTANT TO NOTE THERE IS A 50' BUFFER ZONE THAT SHALL NOT BE DISTURBED LOCATED ALONG THE YOCONA RIVER. THIS BUFFER ZONE IS MEASURED FROM THE EXISTING TOP BANK OF THE YOCONA RIVER.



LEGEND
These standard symbols may be found in the drawing.

| | |
|--|---|
| | PROPERTY LINES |
| | ADJOINING PROP. LINES |
| | DRAINAGE BASIN |
| | LIMITS OF DISTURBANCE |
| | EASEMENT |
| | SILT FENCE |
| | INLET PROTECTION |
| | CHECK DAM |
| | ROCK FILTER DAM |
| | BRUSH FILTER BARRIER |
| | WATTLES |
| | SEDIMENT TRAP |
| | SEDIMENT BASIN |
| | OUTLET PROTECTION |
| | CONSTRUCTION EXIT |
| | PERMANENT SEEDING |
| | EROSION CONTROL MAT |
| | EROSION CONTROL MAT |
| | SEWER MANHOLE |
| | DRAINAGE MANHOLE |
| | DRAINAGE DIVERSION CHANNEL |
| | 25' DRAINAGE CHANNEL BUFFER ZONE |
| | 50' DRAINAGE CHANNEL BUFFER ZONE |
| | HYDRAULIC FLOW ARROWS (DIRECTION OF WATER FLOW) |

RECEIVING WATER(S) NOTE:

- STORMWATER FROM ALL DRAINAGE BASINS DISCHARGE TO YOCONA RIVER. ACCORDING TO MISSISSIPPI DEPARTMENT OF ENVIRONMENTAL QUALITY (MDEQ) DIVISION OF WATER RESOURCES, THE WATER QUALITY OF THIS SECTION OF THE YOCONA RIVER IS NOT IMPAIRED; HOWEVER, THE YOCONA RIVER IS ON THE 303(D) LIST OF IMPAIRED WATER BODIES, AND TMDLS HAVE BEEN DEVELOPED FOR BIOLOGICAL IMPAIRMENT AND SEDIMENT.
- DUE TO THE NATURE OF CONSTRUCTION AND FINAL OPERATIONS OF THE PROPOSED SUBDIVISION, ADDITIONAL BIOLOGICAL IMPAIRMENT IS NOT SPECIFICALLY APPLICABLE, BUT EVERY CARE SHALL BE TAKEN TO AVOID ANY FUTURE DISCHARGES RESULTING IN INCREASED BIOLOGICAL LOADING TO THE RECEIVING STREAM.

DRAINAGE CHANNEL BUFFER NOTES:

- NO SPOIL PILES ARE TO BE UNMONITORED WITHIN BUFFER ZONE LIMITS.
- THE DRAINAGE CHANNEL AND/OR BUFFER ZONE WILL BE PROTECTED WITH TWO ROWS OF SILT FENCE WITH WIRE BACKING AT ALL TIMES.
- ALL AREAS TO BE DISTURBED WITHIN THE BUFFER ZONE WILL BE STABILIZED IMMEDIATELY UPON COMPLETION.
- NO TREES ARE TO BE REMOVED AND THE MINIMAL AMOUNT OF CLEARING AND GRUBBING SHALL BE PERFORMED WITHIN THE BUFFER ZONES.
- ANY STORMWATER NOT DRAINING TO THE PROPOSED SEDIMENT TRAP OR SEDIMENT BASINS AND DRAINING TO THE DRAINAGE CHANNEL(S) SHALL BE DIRECTED TO VEGETATED AREAS AND EVERY ATTEMPT SHALL BE MADE TO ELIMINATE THE CHANNELIZING OF STORMWATER TO ALLOW HIGHEST POSSIBLE TIMES OF CONCENTRATIONS THAT WILL AID IN INFILTRATION, FILTRATION, VELOCITY REDUCTION, AND DIFFUSION OF DISCHARGE.
- THE OUTSIDE ROW OF SILT FENCE SHALL BE A MINIMUM OF 5' FROM THE TOP BANK OF THE DRAINAGE CHANNEL.

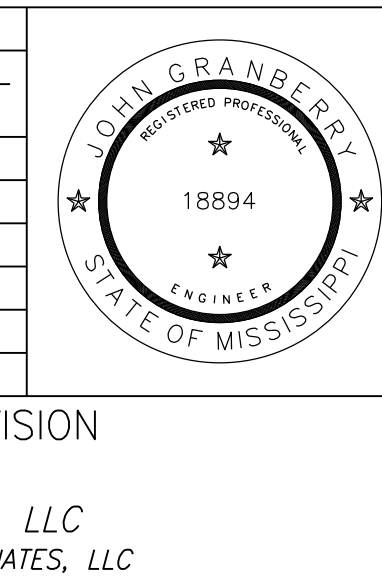
EROSION CONTROL NOTES:

- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN EROSION CONTROL DURING CONSTRUCTION BY THE PLACEMENT OF SILT FENCES OR WATTLES WHERE NECESSARY TO PREVENT DOWNSTREAM SILTATION OF ANY DITCHES, PIPES, DRAINAGE STRUCTURES, OR ADJACENT PROPERTIES. THE CONTRACTOR SHALL PROVIDE ANY ADDITIONAL EROSION CONTROL AS NEEDED OR AS DIRECTED BY THE ENGINEER.
- ONCE CONSTRUCTION BEGINS, TWICE-WEEKLY INSPECTIONS (EVERY 72 HOURS) SHALL BE PERFORMED BY A CERTIFIED EROSION CONTROL INSPECTOR.
- ALL NEW CUT OR FILL AREAS LACKING ADEQUATE VEGETATION SHALL BE FERTILIZED MULCHED, SEEDED, AND/OR SODDED AS REQUIRED TO EFFECTIVELY CONTROL SOIL EROSION.
- TOTAL DISTURBED AREA IS APPROXIMATELY 13.95 ACRES.
- DURING EXCAVATION PHASES OF STEEP SLOPES, WATTLES WITH SILT FENCE BACKING SHALL BE REQUIRED TO ELIMINATE SILTATION TRANSFER ONTO ADJACENT LANDOWNERS PROPERTY AND PUBLIC STREETS.
- PROPOSED TEMPORARY SEDIMENT TRAPS AND BASINS SHALL BE LOCATED IN THE LOCATIONS AS SHOWN ON PLANS.
- THE SEDIMENT REMOVAL ELEVATION SHALL BE CLEARLY MARKED WITH HIGH VISIBILITY PAINT ON THE SILT GAUGE LOCATED IN THE SEDIMENT POND.
- TEMPORARY RISER SECTIONS SHALL BE USED ON DISCHARGE PIPES OR AN APPROVED BLOCKING METHOD. ONCE AREA IS STABILIZED, CONTRACTOR SHALL REMOVE RISER SECTION AND OUTFALL STRUCTURE SHALL CONFORM TO FINAL STORMWATER POND OUTFALL STRUCTURE. SEE SHEET 5 - GRADING & DRAINAGE.
- THIS EROSION CONTROL PLAN ONLY APPLIES TO THE OVERALL GRADING AND DRAINAGE PLANS AS IT RELATES TO THIS PROJECT. SITE SPECIFIC EROSION CONTROL PLANS SHALL BE DESIGNED AS FUTURE DEVELOPMENT OF INDIVIDUAL LOTS/SITES ARE DEVELOPED.
- SILT FENCE AS SHOWN MAY NOT BE PARALLEL TO CONTOURS AND LOCATIONS SHALL BE FIELD MODIFIED TO PROPERLY INSTALL SILT FENCE AND ALL BMPs.

PHASE 1 CONSTRUCTION SEQUENCE:

- INSTALL CONSTRUCTION EXIT(S) PER DETAIL. CONSTRUCTION EXIT LOCATION MAY BE MODIFIED ACCORDING TO INGRESS/EGRESS OF THE CONTRACTOR AS APPROVED BY ENGINEER.
- INSTALL RAIN GAUGE NEAR CONSTRUCTION ENTRANCE OR LOCATION THAT IS EASILY ACCESSIBLE BY A VEHICLE.
- INSTALL SILT FENCE, WATTLES, AND INLET PROTECTION ON EXISTING INLETS IN ALL LOCATIONS SHOWN THIS SHEET BEFORE CONSTRUCTION BEGINS PER DETAIL. REMOVE SEDIMENT FROM SILT FENCE ONCE SEDIMENT HAS REACHED 1/3 TO 1/2 OF THE HEIGHT OF THE SILT FENCE AND AS NEEDED TO CLEAR AND GRUB THE SITE.
- INSTALL ROCK FILTER DAMS AS SHOWN.
- INSTALL TEMPORARY SEDIMENT TRAP AND SEDIMENT BASINS WITH MODIFIED OUTFALL STRUCTURES AS SHOWN THIS SHEET AND ON SHEET 12. STABILIZE SLOPES IMMEDIATELY UPON COMPLETION.
- CONSTRUCT DRAINAGE DIVERSION CHANNELS AS SHOWN TO DIRECT STORMWATER TO SEDIMENT TRAPS & BASINS.
- CLEAR AND GRUB THE SITE. STOCKPILE AND PROTECT TOPSOIL FOR FUTURE USE ON SLOPES. DISPOSE OF EXCESS DEBRIS PRODUCED DURING THE CLEARING AND GRUBBING ACTIVITY.
- ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED WITH SEEDING/SOD AND SEDIMENT TRAPS AND BASIN SHALL BE PROPERLY MAINTAINED. DESIGNED EROSION CONTROL MEASURES MUST REMAIN INTACT AND FUNCTIONING UNTIL STABILIZATION IS COMPLETE.
- STORMWATER INSPECTION AND REPORTING WILL BE REQUIRED OF ALL SEDIMENT AND EROSION CONTROL MEASURES IN ACCORDANCE WITH MDEQ REGULATIONS.
- REMOVE ANY TEMPORARY CONTROL MEASURES NOT NEEDED.
- DUST SHALL BE CONTROLLED DURING CONSTRUCTION BY ADEQUATE USE OF WATER.
- TRANSITION TO PHASE 2.

| REVISION | DESCRIPTION OF CHANGE | APPROVAL DATE |
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DIVISION OF ENGINEERING
EROSION CONTROL PLAN - PHASE 1
LAFAYETTE COUNTY, MS

SURVEY: WILLIAMS ENG. DATE: 9/20/2022 PROJECT NO.: 1000-162
DESIGN BY: J. GRANBERRY, P.E. DATE: 5/15/2026 BOOK:
DRAWN BY: J. GRANBERRY, P.E. DATE: 5/15/2026 SCALE: 1" = 100'

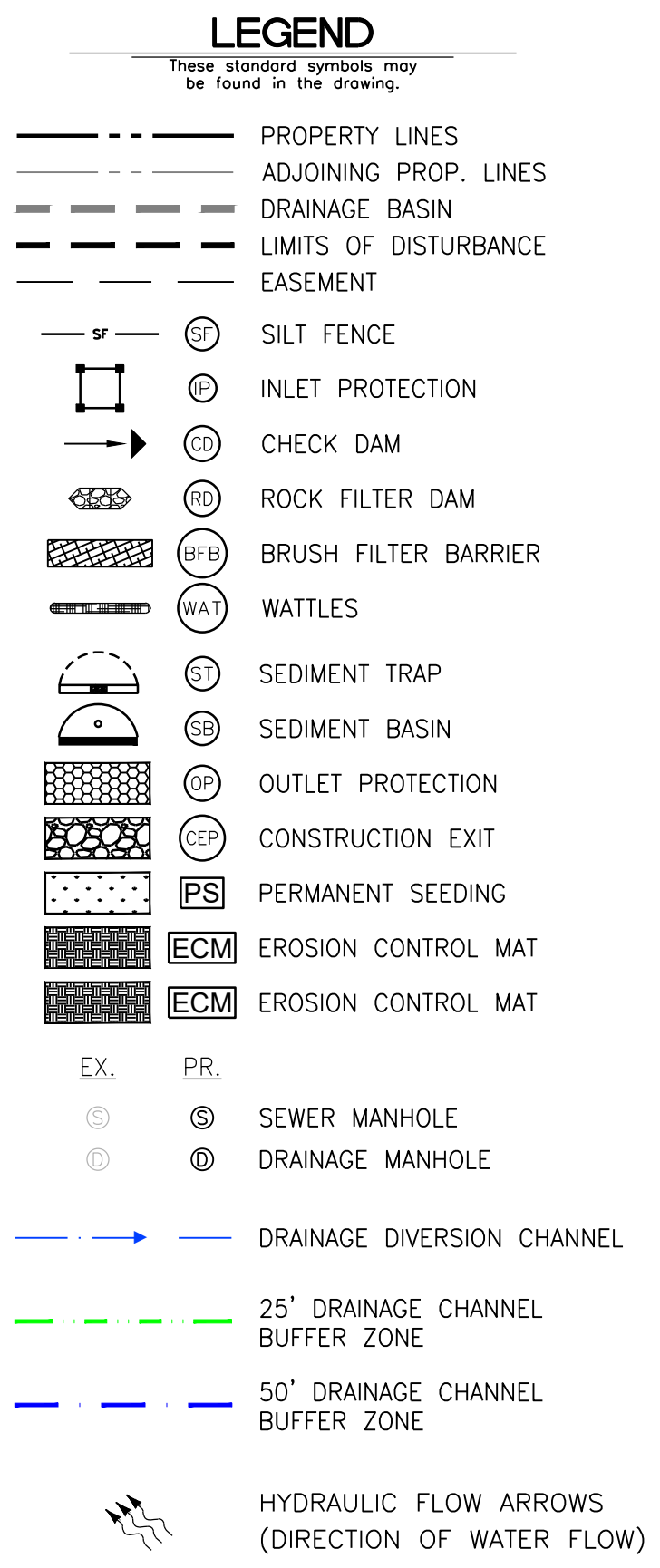
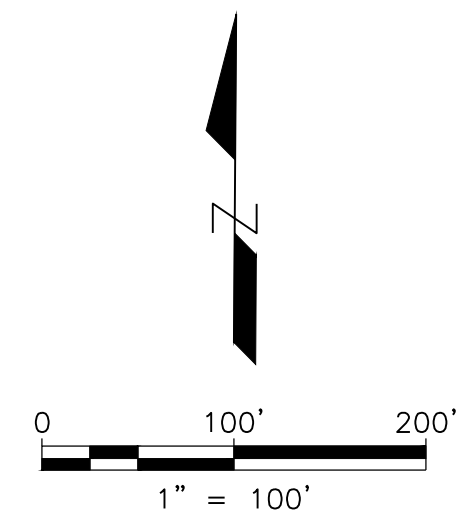
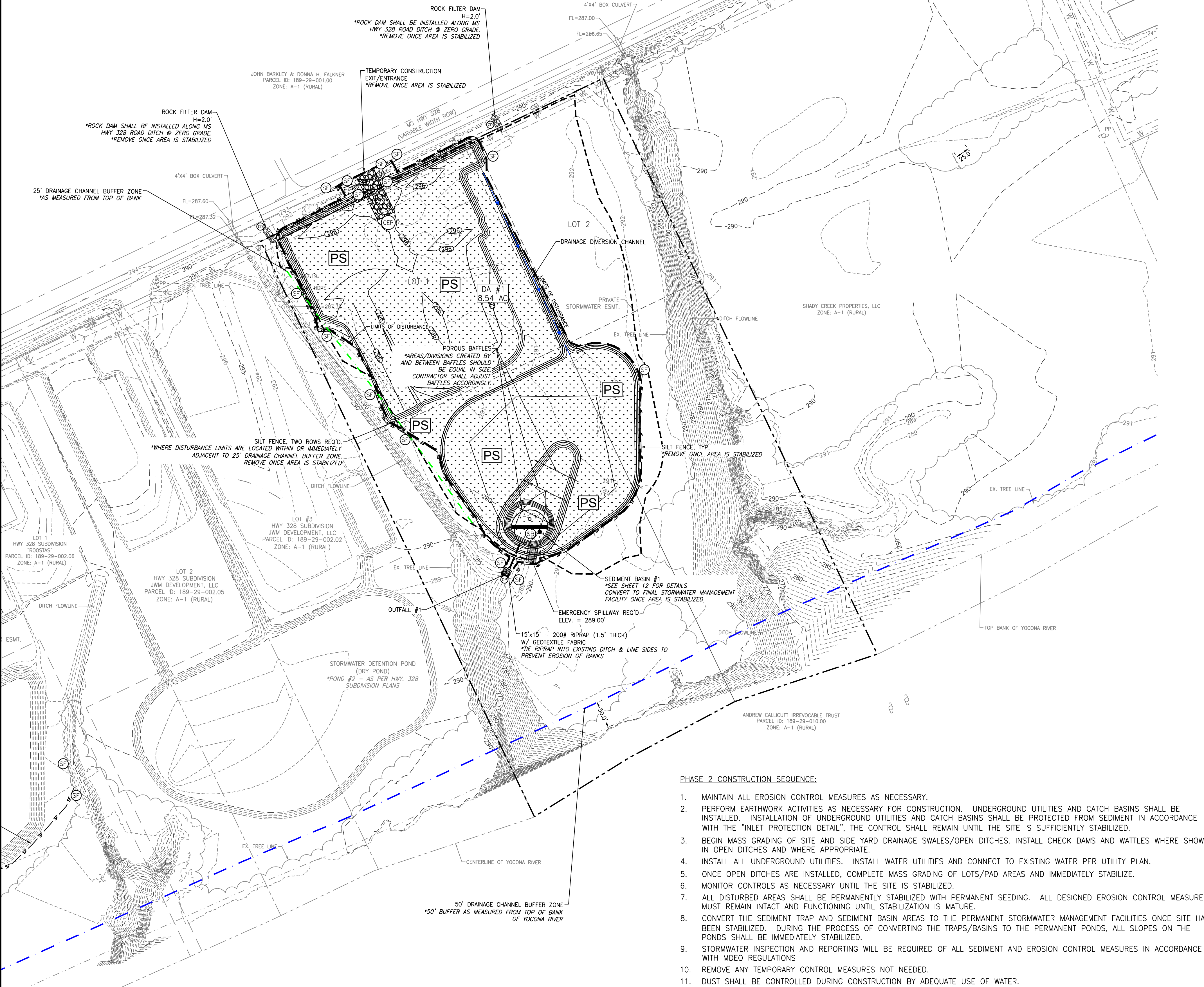
YOCONA RISE SUBDIVISION
OWNER: HIGHWAY 328, LLC
ENGINEER: GRANBERRY & ASSOCIATES, LLC

FEMA NOTE:
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- THE OUTSIDE ROW OF SILT FENCE SHALL BE A MINIMUM OF 5' FROM THE TOP BANK OF THE DRAINAGE CHANNEL.

EROSION CONTROL NOTES:

- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN EROSION CONTROL DURING CONSTRUCTION BY THE PLACEMENT OF SILT FENCES OR WATTLES WHERE NECESSARY TO PREVENT DOWNSTREAM SILTATION OF ANY DITCHES, PIPES, DRAINAGE STRUCTURES, OR ADJACENT PROPERTIES. THE CONTRACTOR SHALL PROVIDE ANY ADDITIONAL EROSION CONTROL AS NEEDED OR AS DIRECTED BY THE ENGINEER.
- ONCE CONSTRUCTION BEGINS, TWICE-WEEKLY INSPECTIONS (EVERY 72 HOURS) SHALL BE PERFORMED BY A CERTIFIED EROSION CONTROL INSPECTOR.
- ALL NEW CUT OR FILL AREAS LACKING ADEQUATE VEGETATION SHALL BE FERTILIZED MULCHED, SEEDED, AND/OR SODDED AS REQUIRED TO EFFECTIVELY CONTROL SOIL EROSION.
- TOTAL DISTURBED AREA IS APPROXIMATELY 13.95 ACRES.
- DURING EXCAVATION PHASES OF STEEP SLOPES, WATTLES WITH SILT FENCE BACKING SHALL BE REQUIRED TO ELIMINATE SILTATION TRANSFER ONTO ADJACENT LANDOWNERS' PROPERTY AND PUBLIC STREETS.
- PROPOSED TEMPORARY SEDIMENT TRAPS AND BASINS SHALL BE LOCATED IN THE LOCATIONS AS SHOWN ON PLANS.
- THE SEDIMENT REMOVAL ELEVATION SHALL BE CLEARLY MARKED WITH HIGH VISIBILITY PAINT ON THE SILT GAUGE LOCATED IN THE SEDIMENT POND.
- TEMPORARY RISER SECTIONS SHALL BE USED ON DISCHARGE PIPES OR AN APPROVED BLOCKING METHOD. ONCE AREA IS STABILIZED, CONTRACTOR SHALL REMOVE RISER SECTION AND OUTFALL STRUCTURE SHALL CONFORM TO FINAL STORMWATER POND OUTFALL STRUCTURE. SEE SHEET 5 - GRADING & DRAINAGE.
- THIS EROSION CONTROL PLAN ONLY APPLIES TO THE OVERALL GRADING AND DRAINAGE PLANS AS IT RELATES TO THIS PROJECT. SITE SPECIFIC EROSION CONTROL PLANS SHALL BE DESIGNED AS FUTURE DEVELOPMENT OF INDIVIDUAL LOTS/SITES ARE DEVELOPED.
- SILT FENCE AS SHOWN MAY NOT BE PARALLEL TO CONTOURS AND LOCATIONS SHALL BE FIELD MODIFIED TO PROPERLY INSTALL SILT FENCE AND ALL BMPs.

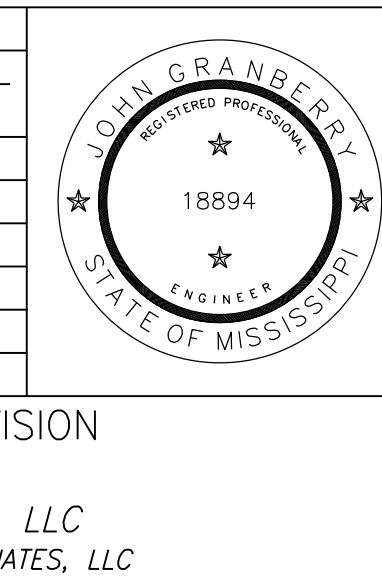
PHASE 2 CONSTRUCTION SEQUENCE:

- MAINTAIN ALL EROSION CONTROL MEASURES AS NECESSARY.
- PERFORM EARTHWORK ACTIVITIES AS NECESSARY FOR CONSTRUCTION. UNDERGROUND UTILITIES AND CATCH BASINS SHALL BE INSTALLED. INSTALLATION OF UNDERGROUND UTILITIES AND CATCH BASINS SHALL BE PROTECTED FROM SEDIMENT IN ACCORDANCE WITH THE "INLET PROTECTION DETAIL", THE CONTROL SHALL REMAIN UNTIL THE SITE IS SUFFICIENTLY STABILIZED.
- BEGIN MASS GRADING OF SITE AND SIDE YARD DRAINAGE SWALES/OPEN DITCHES. INSTALL CHECK DAMS AND WATTLES WHERE SHOWN IN OPEN DITCHES AND WHERE APPROPRIATE.
- INSTALL ALL UNDERGROUND UTILITIES. INSTALL WATER UTILITIES AND CONNECT TO EXISTING WATER PER UTILITY PLAN.
- ONCE OPEN DITCHES ARE INSTALLED, COMPLETE MASS GRADING OF LOTS/PAD AREAS AND IMMEDIATELY STABILIZE.
- MONITOR CONTROLS AS NECESSARY UNTIL THE SITE IS STABILIZED.
- ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED WITH PERMANENT SEEDING. ALL DESIGNED EROSION CONTROL MEASURES MUST REMAIN INTACT AND FUNCTIONING UNTIL STABILIZATION IS MATURE.
- CONVERT THE SEDIMENT TRAP AND SEDIMENT BASIN AREAS TO THE PERMANENT STORMWATER MANAGEMENT FACILITIES ONCE SITE HAS BEEN STABILIZED. DURING THE PROCESS OF CONVERTING THE TRAPS/BASINS TO THE PERMANENT PONDS, ALL SLOPES ON THE PONDS SHALL BE IMMEDIATELY STABILIZED.
- STORMWATER INSPECTION AND REPORTING WILL BE REQUIRED OF ALL SEDIMENT AND EROSION CONTROL MEASURES IN ACCORDANCE WITH MDEQ REGULATIONS.
- REMOVE ANY TEMPORARY CONTROL MEASURES NOT NEEDED.
- DUST SHALL BE CONTROLLED DURING CONSTRUCTION BY ADEQUATE USE OF WATER.

| REVISION | DESCRIPTION OF CHANGE | APPROVAL DATE |
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YOCONA RISE SUBDIVISION

OWNER: HIGHWAY 328, LLC
ENGINEER: GRANBERRY & ASSOCIATES, LLC

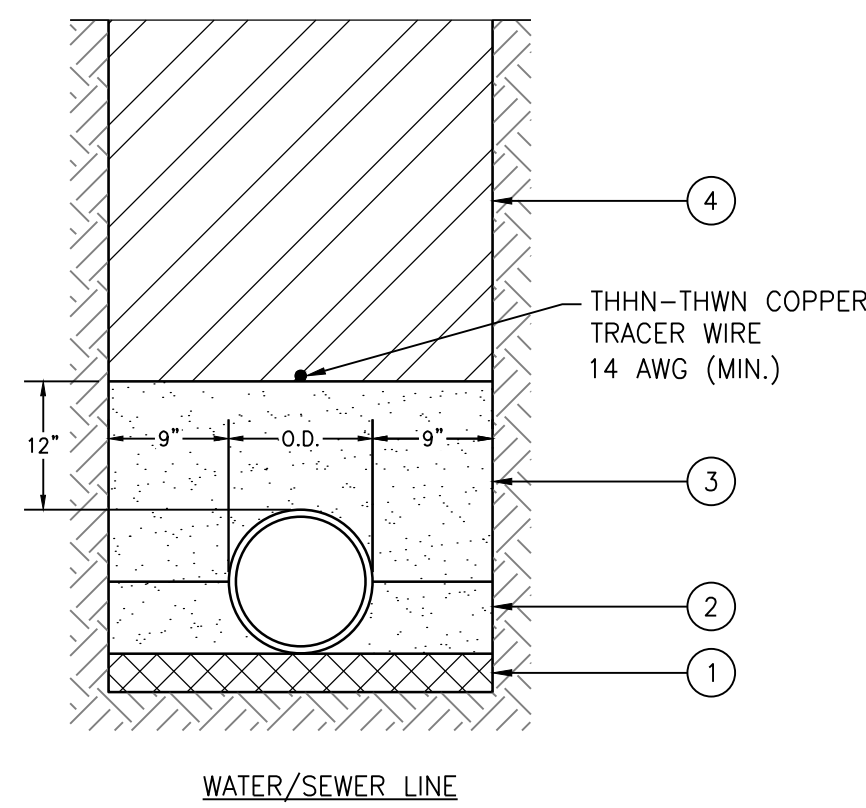


DIVISION OF ENGINEERING

EROSION CONTROL PLAN - PHASE 2

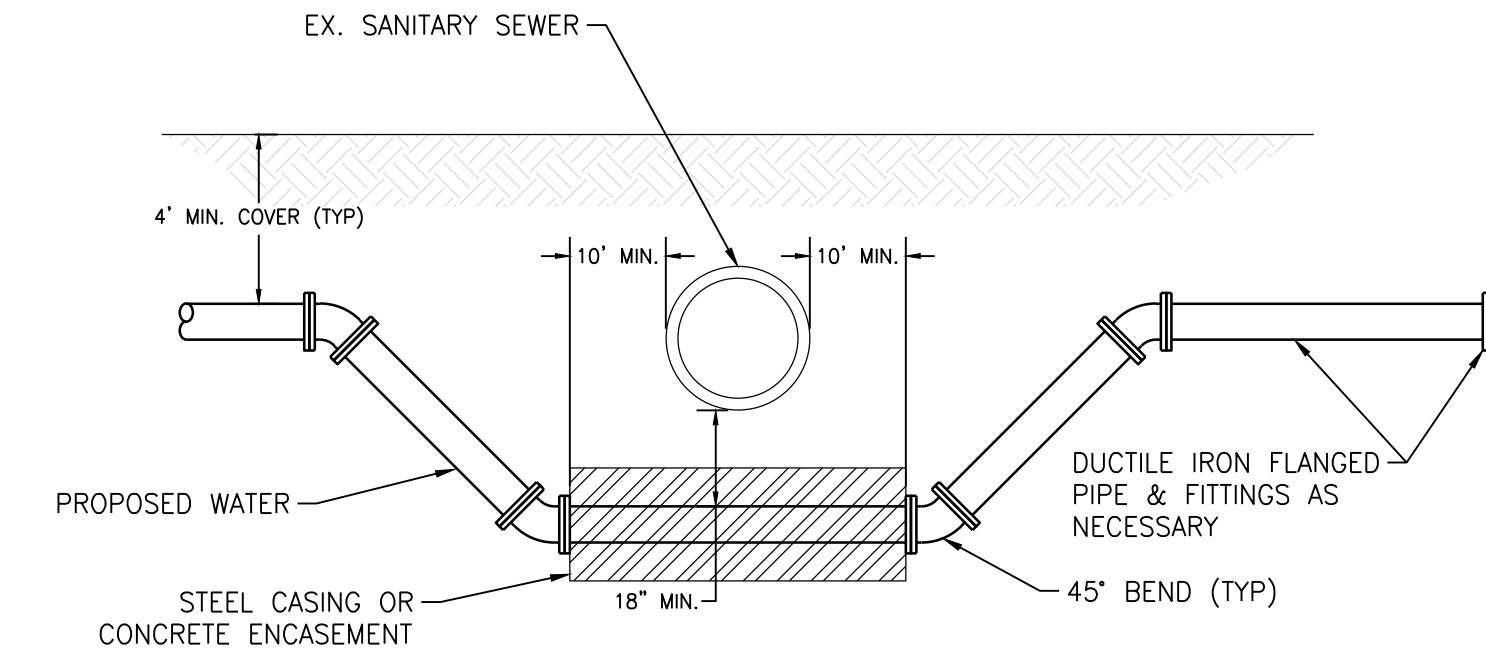
LAFAYETTE COUNTY, MS

SURVEY: WILLIAMS ENG. DATE: 9/20/2022 PROJECT NO.: 1000-162
DESIGN BY: J. GRANBERRY, P.E. DATE: 5/15/2026 BOOK:
DRAWN BY: J. GRANBERRY, P.E. DATE: 5/15/2026 SCALE: 1" = 100'

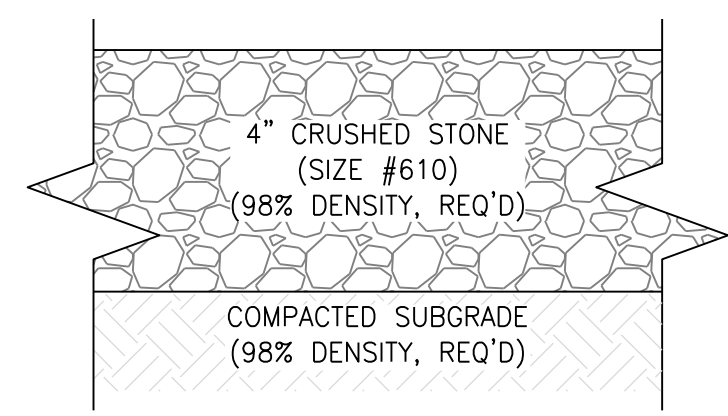


1. BEDDING: 4" CLEAN SAND COMPACTED TO 90% STANDARD PROCTOR.
2. HAUNCHING: CLEAN SAND HAND WORKED AROUND PIPE AND COMPACTED TO SPRINGLINE OF PIPE. COMPACT TO 90% STANDARD PROCTOR.
3. INITIAL BACKFILL: CLEAN SAND PLACED & COMPACTED IN 8" LIFTS TO 12" ABOVE CROWN OF PIPE. COMPACT TO 90% STANDARD PROCTOR.
4. FINAL BACKFILL: SUITABLE NATIVE MATERIAL PLACED & COMPACTED IN 12" LIFTS TO EX. GROUND SURFACE OR ROAD BED IF UNDER PROPOSED ROAD. COMPACT TO 95% STANDARD PROCTOR, ± 3% OPTIMUM MOISTURE CONTENT.

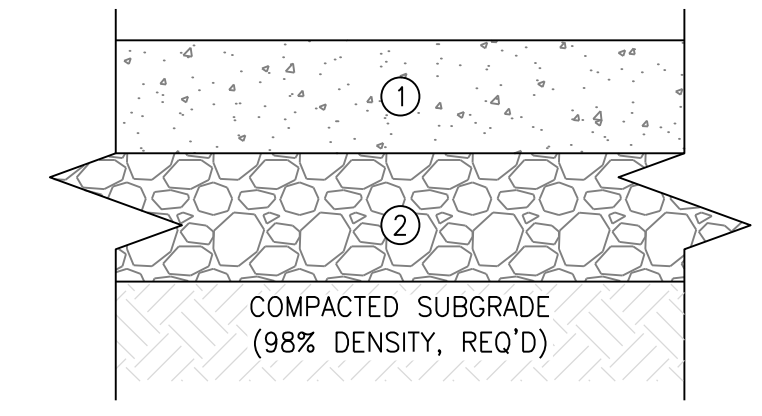
UTILITY TRENCHING & BACKFILLING DETAIL
SCALE: N.T.S.



WATER CROSSING SEWER DETAIL
SCALE: N.T.S.

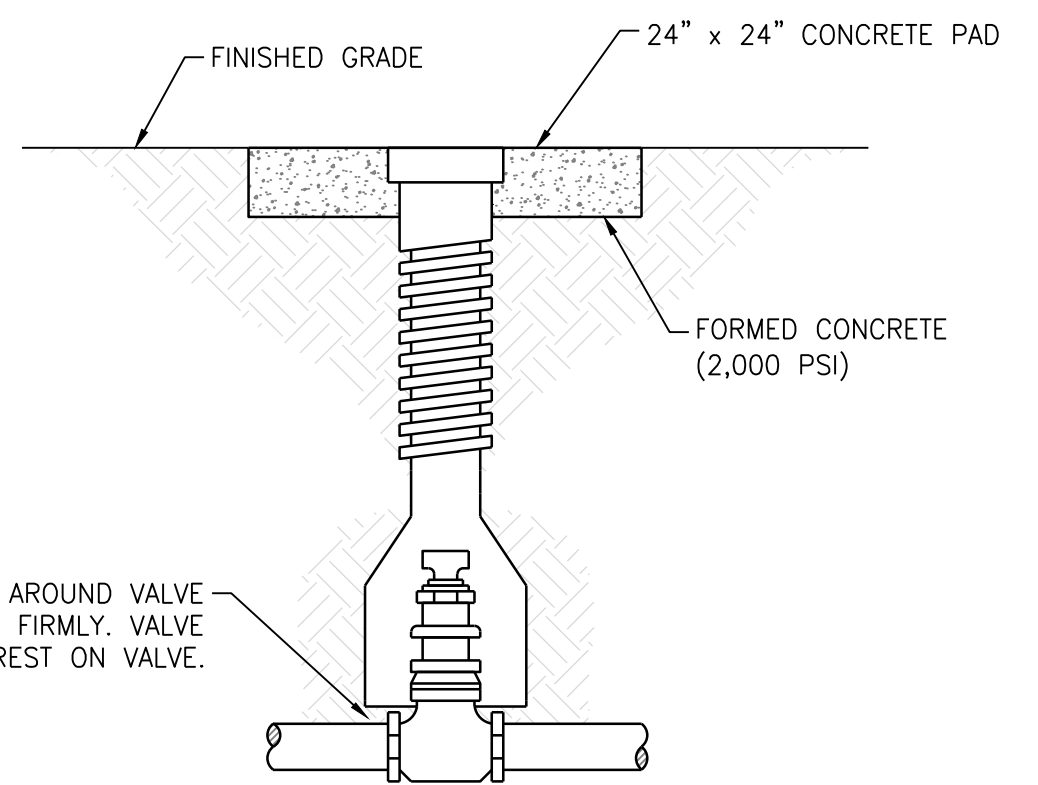


CRUSHED STONE SECTION
SCALE: N.T.S.

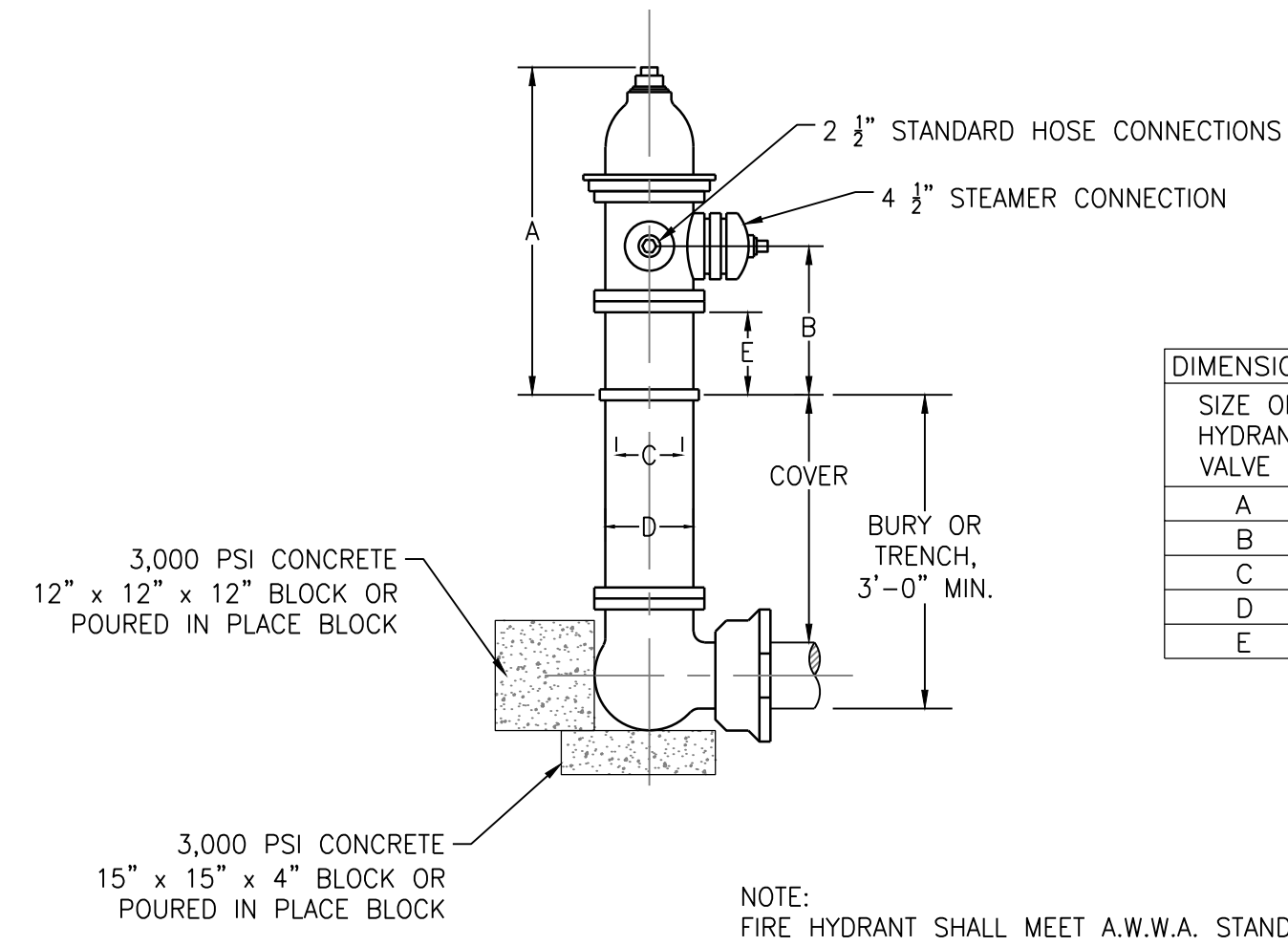


- CONCRETE PAVEMENT:
- HEAVY DUTY PAVEMENT (DUMPSTER PAD/APPROACH):
1. 8" PORTLAND CEMENT CONCRETE (3,500 PSI COMPRESSIVE STRENGTH)
*MINIMUM FLEXURAL STRENGTH OF 600 PSI AT 28 DAYS.
CONCRETE SHALL BE STEEL REINFORCED W/ JOINTS. CONCRETE SHALL BE HAVE AIR ENTRAINMENT BETWEEN 5-7%.
 2. 6" AGGREGATE BASE
*AGGREGATE BASE COURSE SHALL BE IN ACCORDANCE WITH MDOT SPECIFICATIONS.

HEAVY DUTY CONCRETE PAVING SECTION
(CONCRETE APRON)
SCALE: N.T.S.



VALVE AND BOX ASSEMBLY
SCALE: N.T.S.

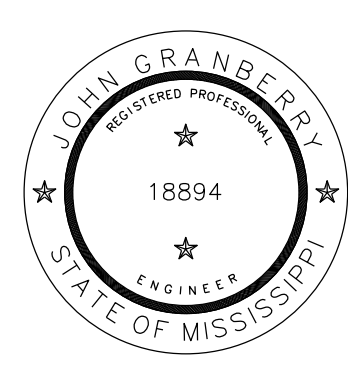


| DIMENSION | SIZE |
|-----------------------|---------|
| SIZE OF HYDRANT VALVE | 5 1/4" |
| A | 32 1/8" |
| B | 15 1/2" |
| C | 7 3/8" |
| D | 8 1/2" |
| E | 9" |

NOTE:
FIRE HYDRANT SHALL MEET A.W.W.A. STANDARDS AND SHALL HAVE HOSE NOZZLE: 2 1/2" -- THREADS, 3 1/16" O.D., 7 1/2 THREADS PER INCH, OPERATING NUT: PENTAGON -- 1 1/2" POINT TO FLAT: OPEN LEFT, STEAMER NOZZLE: 4 1/2" -- THREADS, 5 3/4" O.D., 4 THREADS PER INCH

FIRE HYDRANT ASSEMBLY
SCALE: N.T.S.

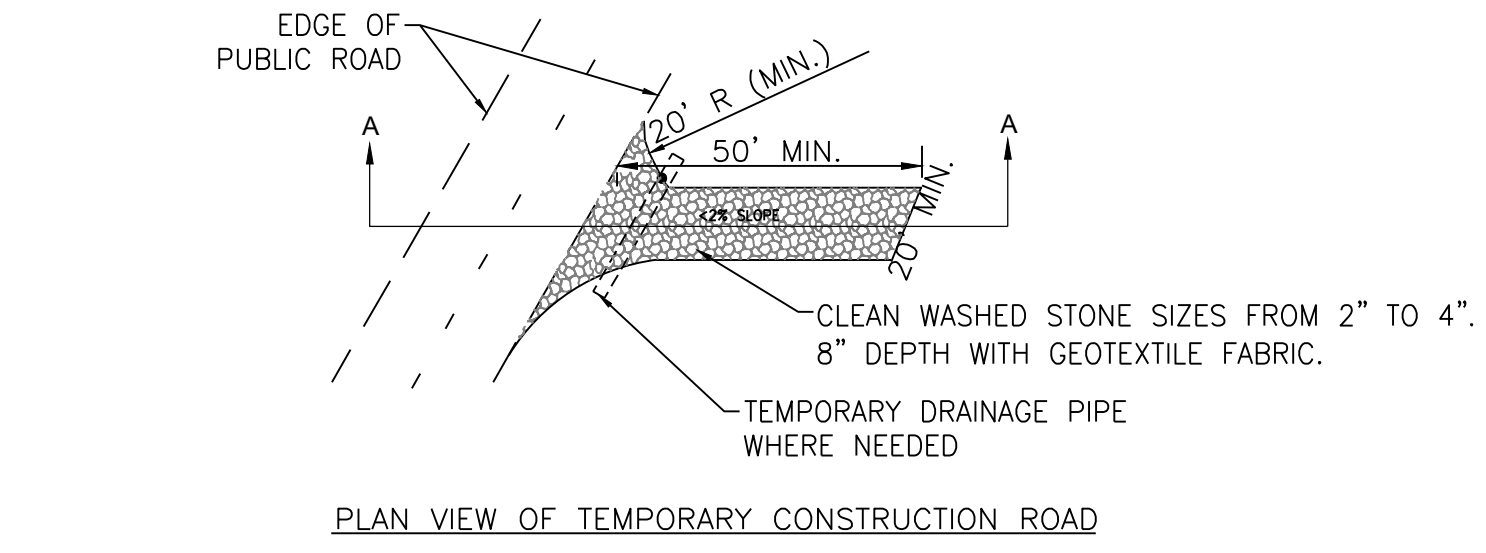
| REVISION | DESCRIPTION OF CHANGE | APPROVAL DATE |
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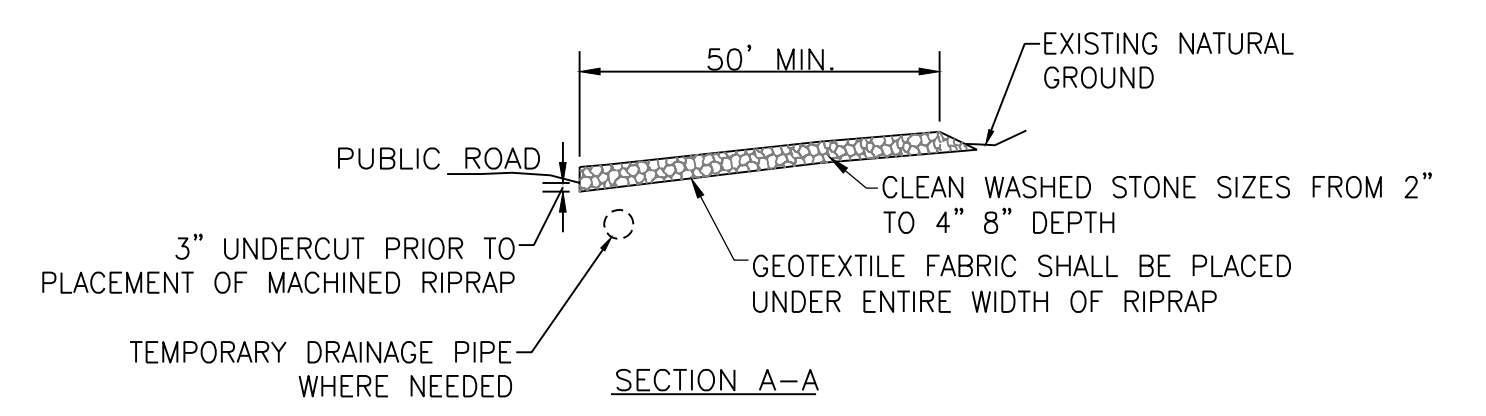
DIVISION OF ENGINEERING
CONSTRUCTION DETAILS
LAFAYETTE COUNTY, MS

SURVEY: WILLIAMS ENG. DATE: 9/20/2022 PROJECT NO.: 1000-162
DESIGN BY: J. GRANBERRY, P.E. DATE: 5/15/2026 BOOK:
DRAWN BY: J. GRANBERRY, P.E. DATE: 5/15/2026 SCALE: N.T.S.

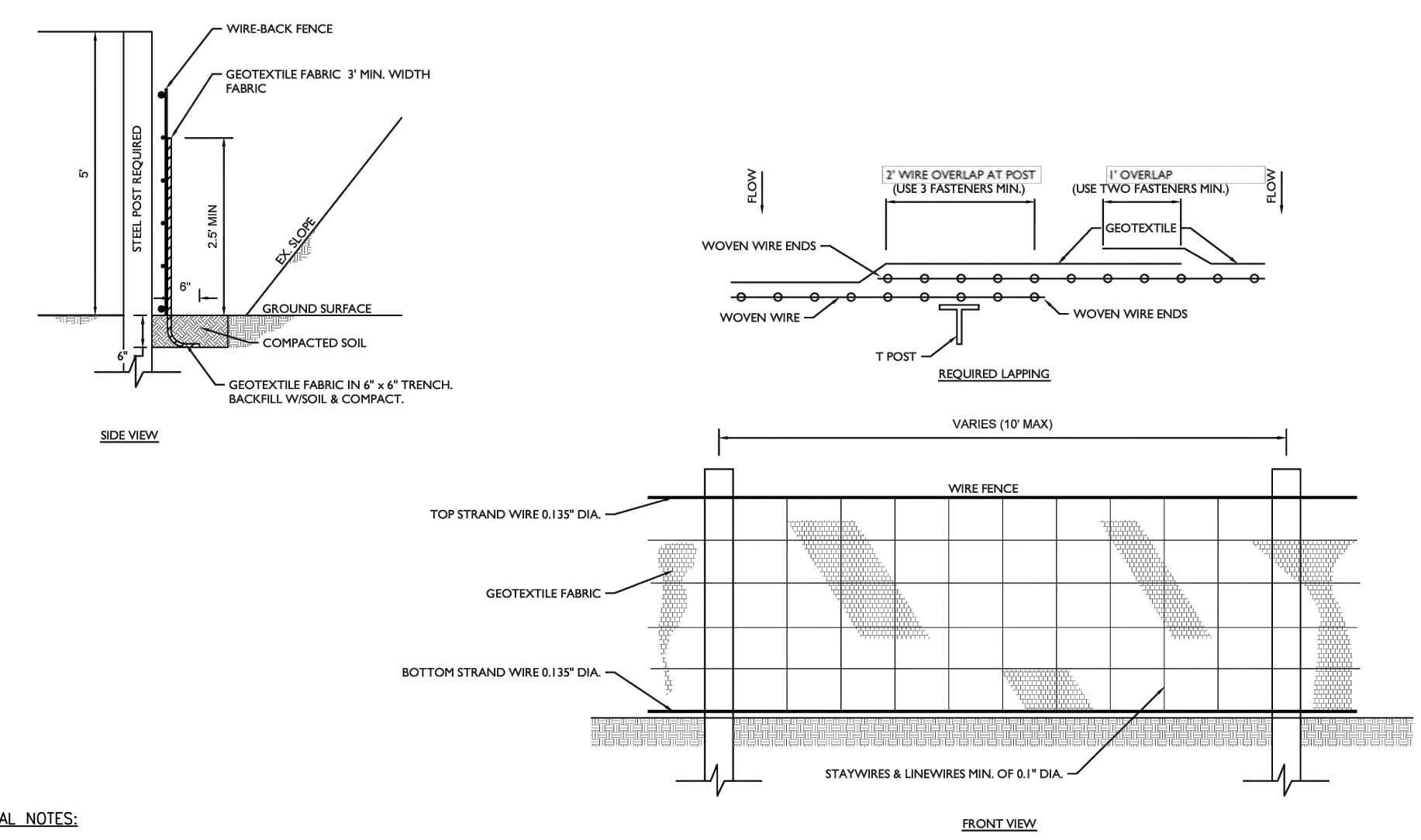
YOCONA RISE SUBDIVISION
OWNER: HIGHWAY 328, LLC
ENGINEER: GRANBERRY & ASSOCIATES, LLC



PLAN VIEW OF TEMPORARY CONSTRUCTION ROAD

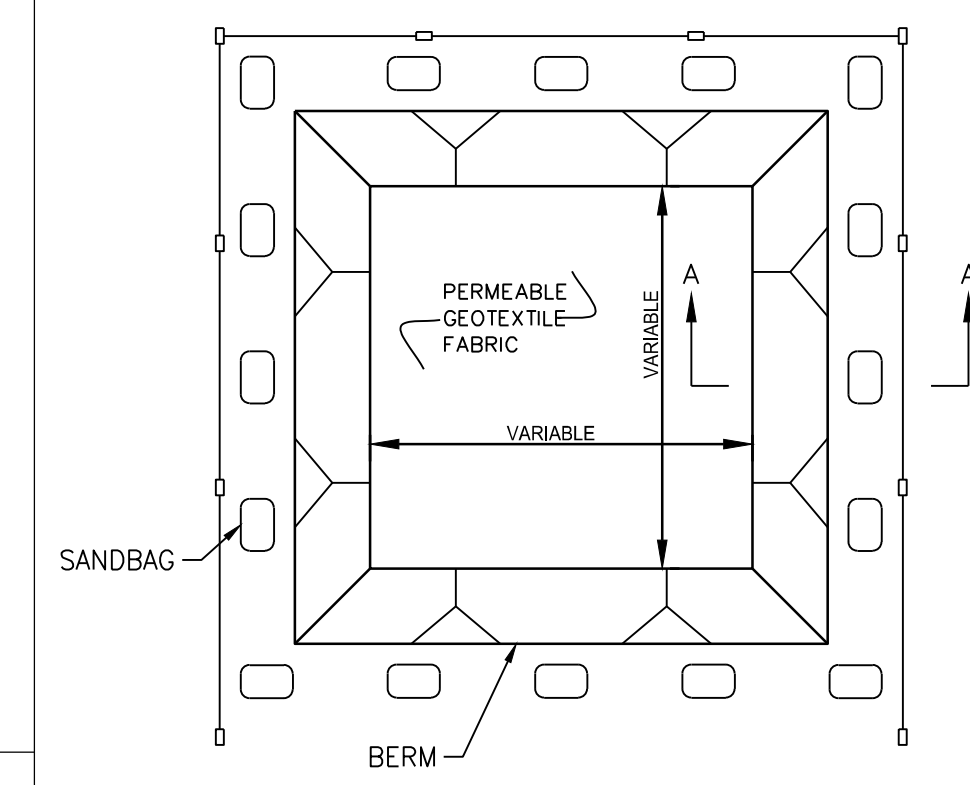
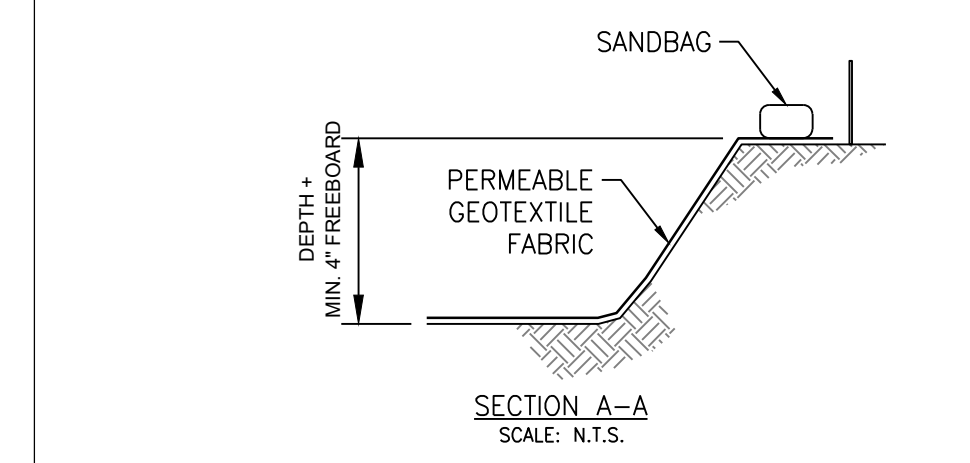


1 CONSTRUCTION ENTRANCE DETAIL
N.T.S.

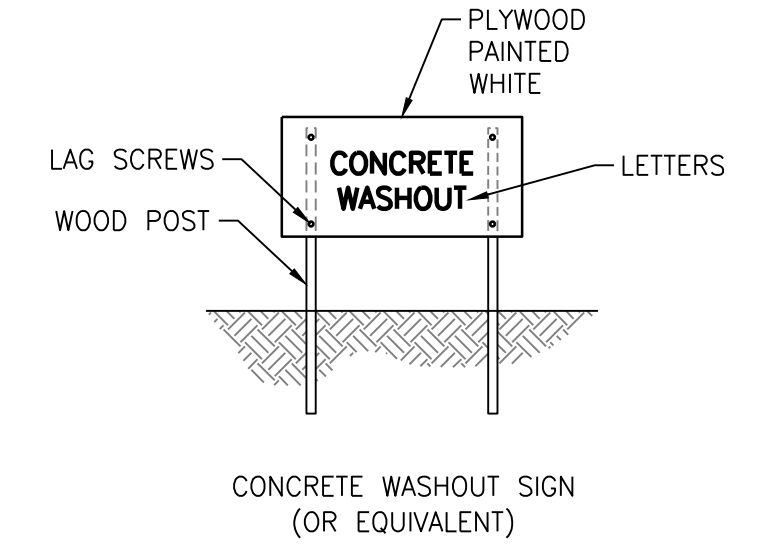


- GENERAL NOTES:
1. WIRE SHALL BE MINIMUM OF 32" IN WIDTH SHALL HAVE A MINIMUM OF 6 LINE WIRES WITH 12" STAY SPACING.
 2. GEOTEXTILE FABRIC SHALL BE A MINIMUM OF 36" IN WIDTH AND SHALL BE FASTENED ADEQUATELY TO THE WIRE AS DIRECTED.
 3. STEEL POST SHALL BE 5'-0" IN HEIGHT AND OF THE SELF-FASTENER ANGLE STEEL TYPE. WIRE FENCE SHALL BE FASTENED TO STEEL POST WITH NOT LESS THAN 9 GAGE WIRE STAPLES 1" LONG.
 4. GEOTEXTILE FABRIC MEETING THE TYPE II MATERIAL REQUIREMENTS AND INSTALLED ACCORDING TO SPECIFICATIONS MAY BE USED WITHOUT WIRE FENCE.

2 SILT FENCE DETAIL
N.T.S.

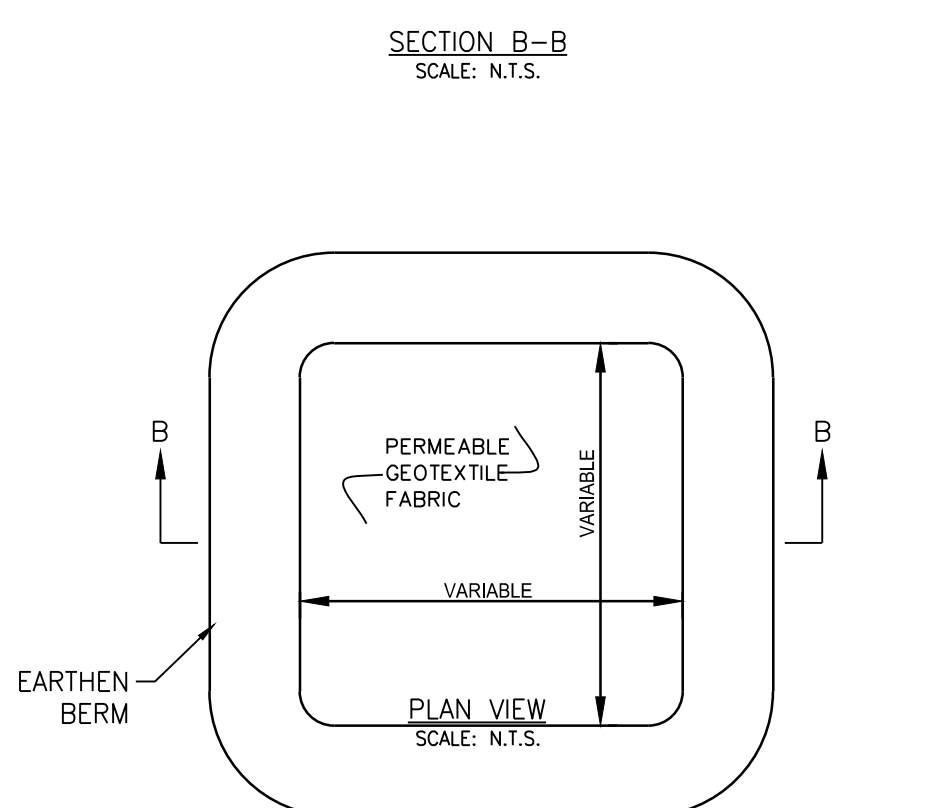
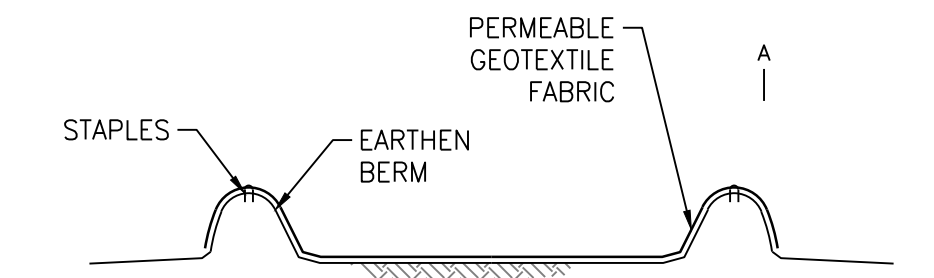


TYPE "BELOW GRADE"
SCALE: N.T.S.

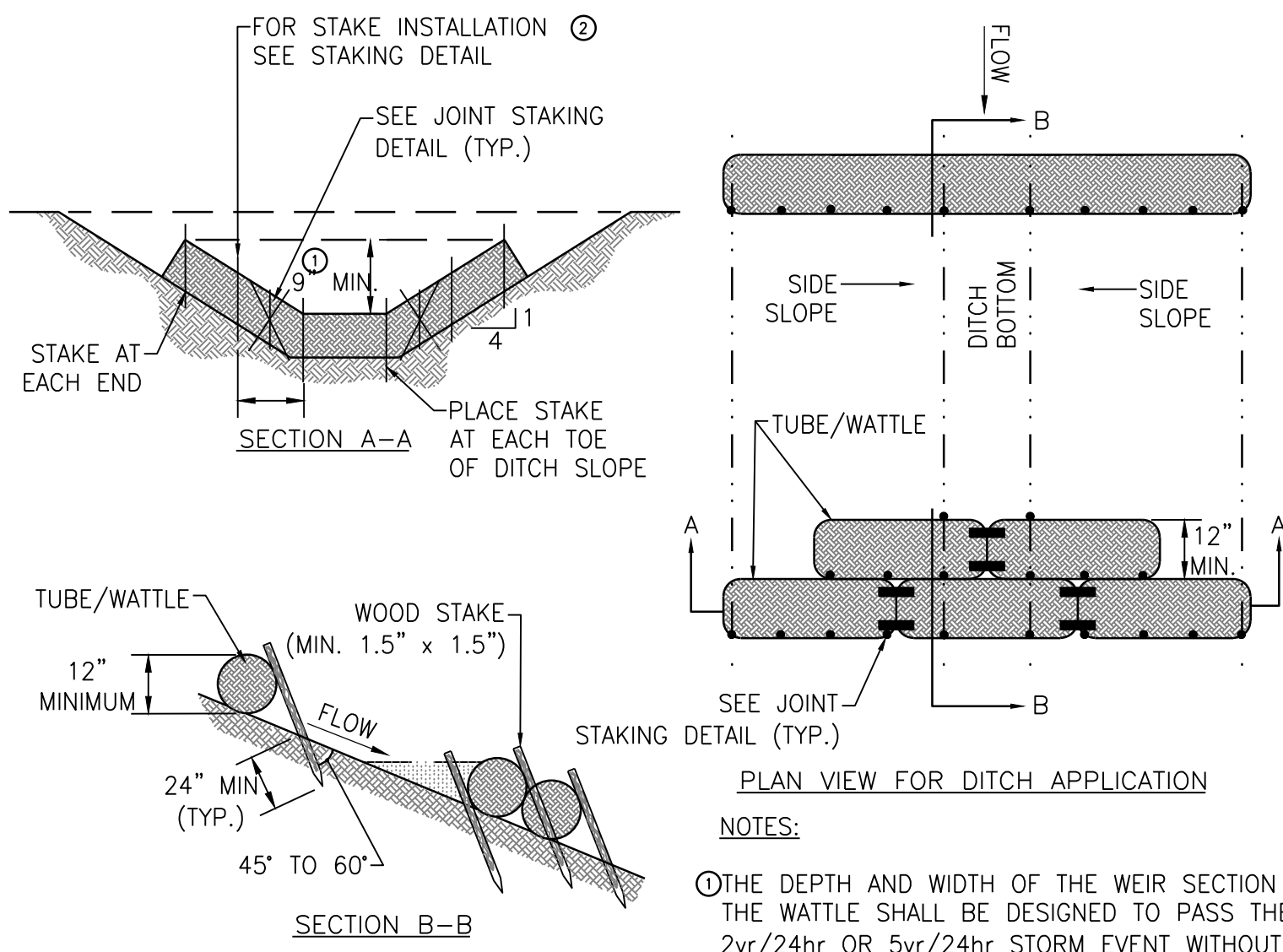


- NOTES:
1. ACTUAL LAYOUT DETERMINED IN THE FIELD.
 2. SIGNAGE IDENTIFYING THE CONCRETE WASHOUT AREA SHALL BE INSTALLED WITHIN 5' OF THE WASHOUT FACILITY.

6 CONCRETE WASHOUT DETAIL
N.T.S.

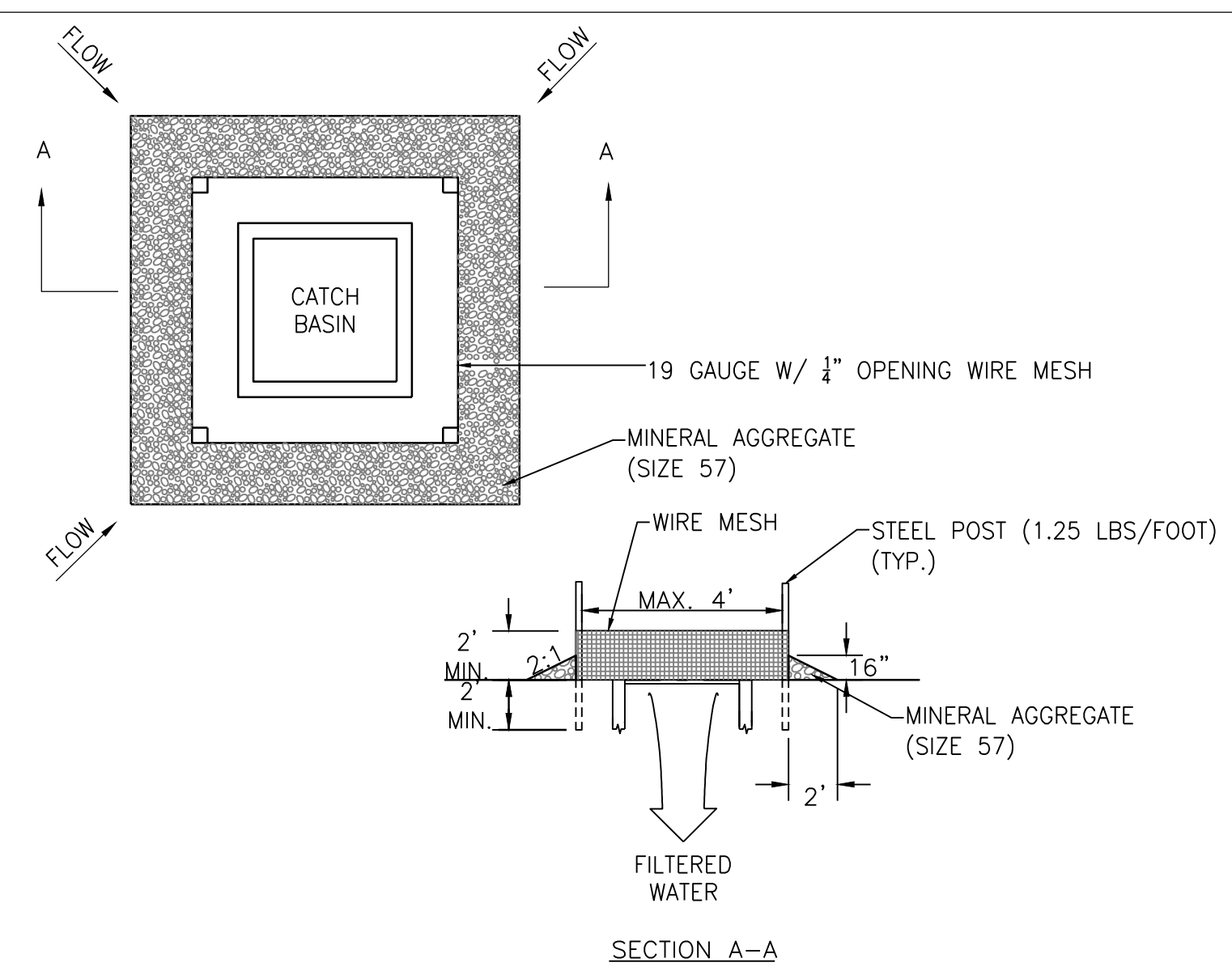


TYPE "ABOVE GRADE" WITH EARTHEN BERMS
SCALE: N.T.S.

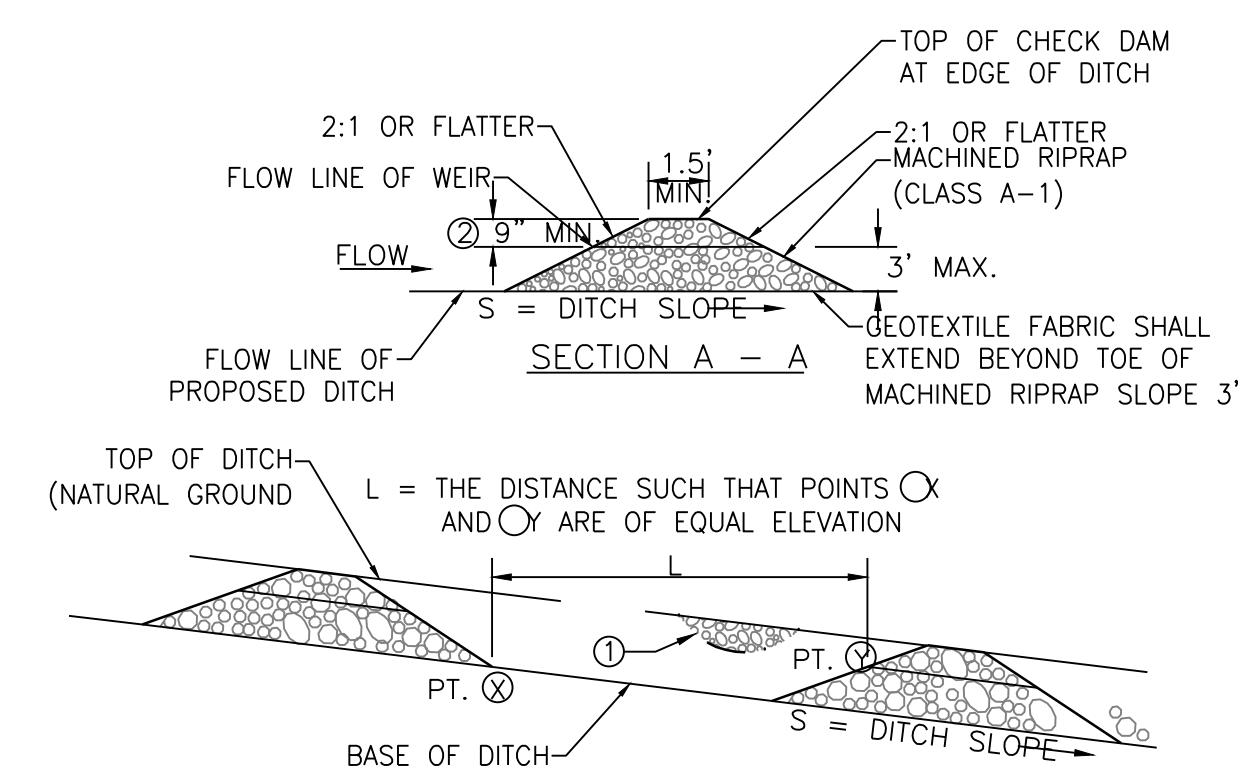


- NOTES:
1. THE DEPTH AND WIDTH OF THE WEIR SECTION OF THE WATTLE SHALL BE DESIGNED TO PASS THE 2yr/24hr OR 5yr/24hr STORM EVENT WITHOUT OVERTOPPING THE CHANNEL.
 2. STAKE PER MANUFACTURERS RECOMMENDATIONS

3 ORGANIC FILTER TUBE DETAIL
N.T.S.

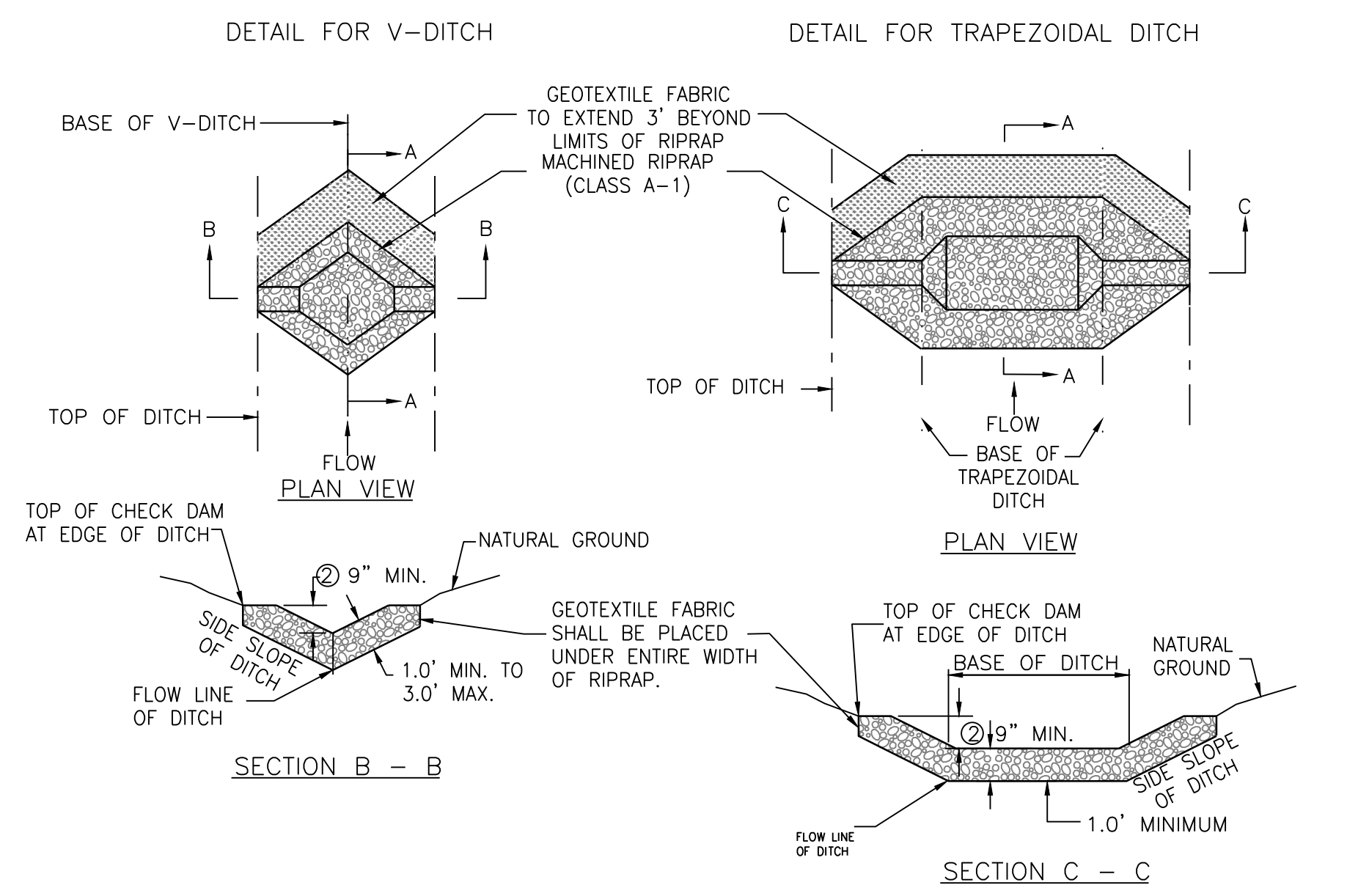


4 INLET PROTECTION DETAIL
N.T.S.

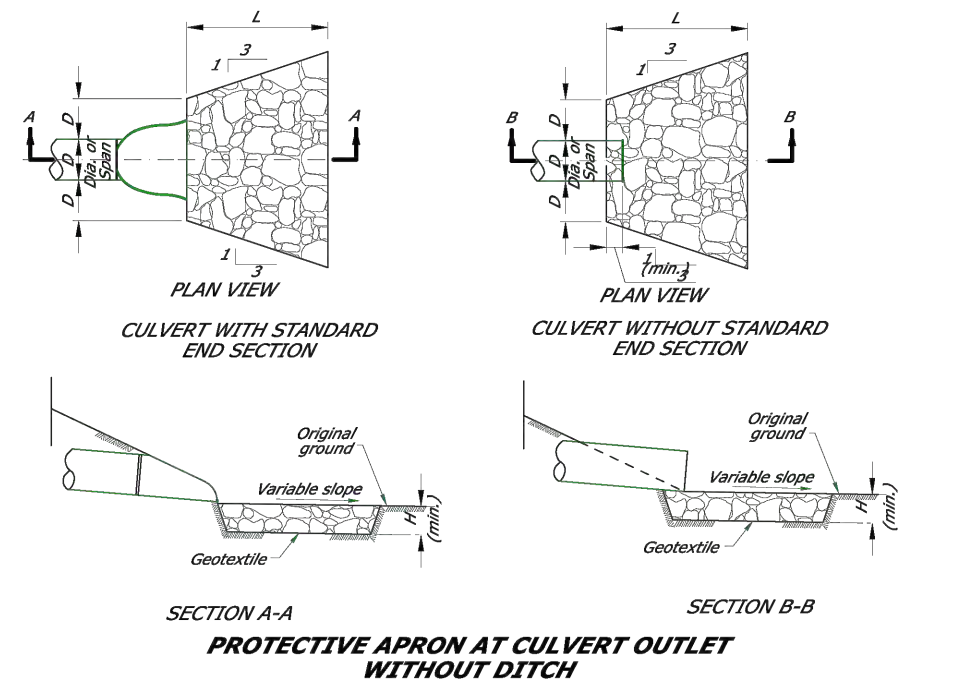


- NOTES:
1. FILL LOW AREAS ALONG TOP OF BANK TO PREVENT BACKWATER FROM EXITING DITCH.
 2. WEIR FLOW DEPTH BASED UPON 2yr/24hr STORM EVENT OR 5yr/24hr STORM EVENT.

DETAIL FOR SPACING BETWEEN CHECK DAMS



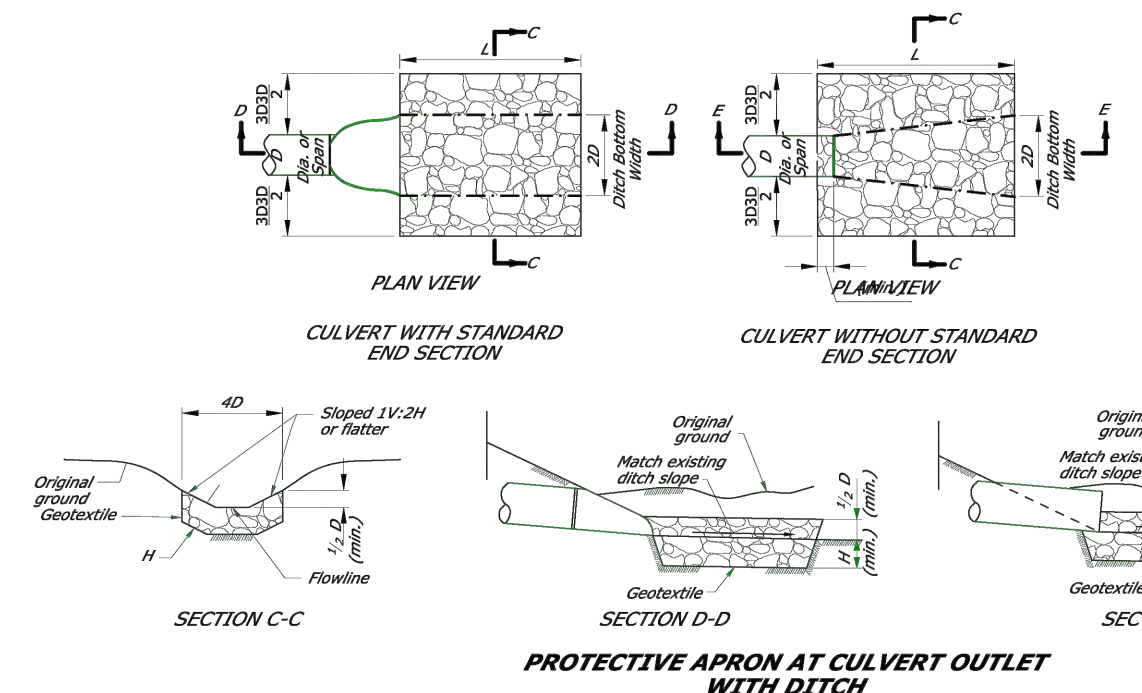
6 ROCK CHECK DAM
N.T.S.



| OUTLET WITHOUT DITCH PROTECTIVE APRON DIMENSIONS AND ESTIMATED QUANTITIES | | | | | | |
|--|--|------------------------|-----------------------|-------------------------------|------------------------------------|----|
| CULVERT SIZE (Inches) | ROOT RIPRAP SIZE (Pounds (weight of mass)) | LENGTH OF APRON (feet) | DEPTH OF APRON (feet) | ESTIMATED APRON QUANTITY (CY) | ESTIMATED GEOTEXTILE QUANTITY (SQ) | |
| WITH END SECTION | 12 | 200# | 4 | 1.5 | 1.0 | 5 |
| | 18 | 200# | 6 | 1.5 | 2.2 | 9 |
| | 24 | 200# | 8 | 1.5 | 3.9 | 14 |
| | 30 | 300# | 12.5 | 2 | 10.9 | 28 |
| | 36 | 300# | 16 | 2 | 18.6 | 37 |
| WITHOUT END SECTION | 42 | 500# | 21 | 2.5 | 24.1 | 63 |
| | 48 | 500# | 24 | 2.5 | 44.5 | 79 |
| | 12 | 200# | 6 | 1.5 | 1.7 | 8 |
| | 18 | 200# | 6 | 1.5 | 3.2 | 12 |
| | 24 | 200# | 10 | 1.5 | 5.2 | 17 |
| WITHOUT END SECTION | 30 | 300# | 14.5 | 2 | 12.3 | 33 |
| | 36 | 300# | 17 | 2 | 18.5 | 43 |
| | 42 | 400# | 23 | 2.5 | 30.3 | 79 |
| | 48 | 400# | 26 | 2.5 | 49.8 | 87 |

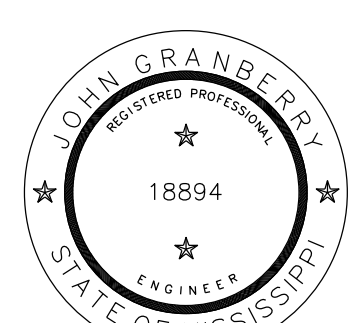
| OUTLET WITH DITCH PROTECTIVE APRON DIMENSIONS AND ESTIMATED QUANTITIES | | | | | | |
|---|--|------------------------|-----------------------|-------------------------------|------------------------------------|----|
| CULVERT SIZE (Inches) | ROOT RIPRAP SIZE (Pounds (weight of mass)) | LENGTH OF APRON (feet) | DEPTH OF APRON (feet) | ESTIMATED APRON QUANTITY (CY) | ESTIMATED GEOTEXTILE QUANTITY (SQ) | |
| WITH END SECTION | 12 | 200# | 4 | 1.5 | 0.9 | 5 |
| | 18 | 200# | 6 | 1.5 | 2 | 8 |
| | 24 | 200# | 8 | 1.5 | 3.6 | 11 |
| | 30 | 300# | 12.5 | 2 | 9.3 | 24 |
| | 36 | 300# | 15 | 2 | 13.4 | 32 |
| WITHOUT END SECTION | 42 | 500# | 21 | 2.5 | 21.3 | 53 |
| | 48 | 500# | 24 | 2.5 | 35.6 | 65 |
| | 12 | 200# | 6 | 1.5 | 1.4 | 6 |
| | 18 | 200# | 6 | 1.5 | 2.7 | 10 |
| | 24 | 200# | 10 | 1.5 | 4.5 | 15 |
| WITHOUT END SECTION | 30 | 300# | 14.5 | 2 | 10.9 | 27 |
| | 36 | 300# | 17 | 2 | 15.2 | 36 |
| | 42 | 400# | 23 | 2.5 | 29.9 | 57 |
| | 48 | 400# | 26 | 2.5 | 38.6 | 71 |

NOTE:
1. Use for aprons serving culverts with slopes of less than 10%.



7 OUTLET PROTECTION DETAIL
N.T.S.

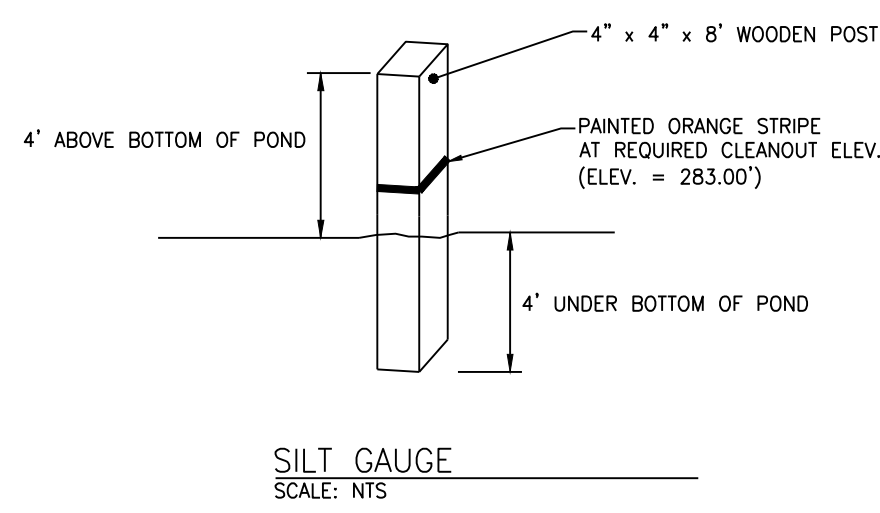
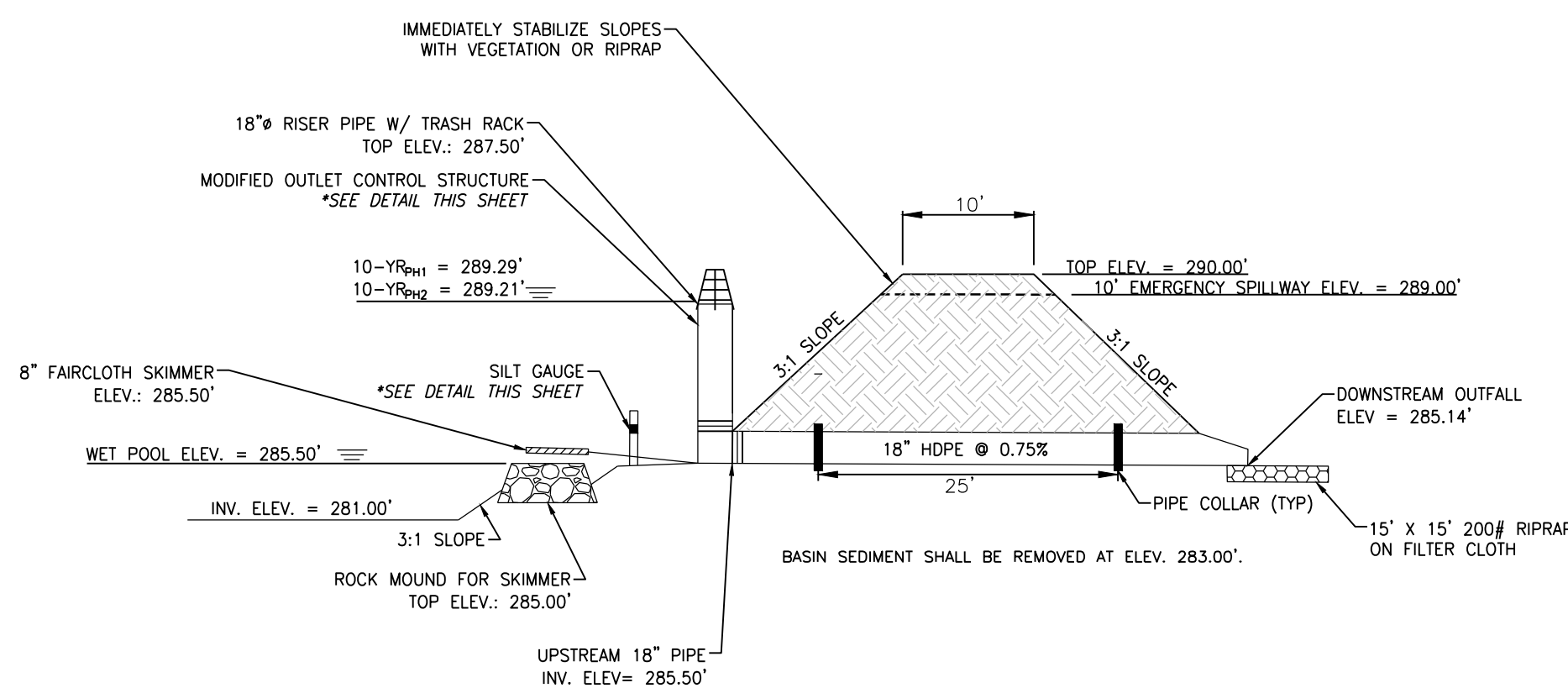
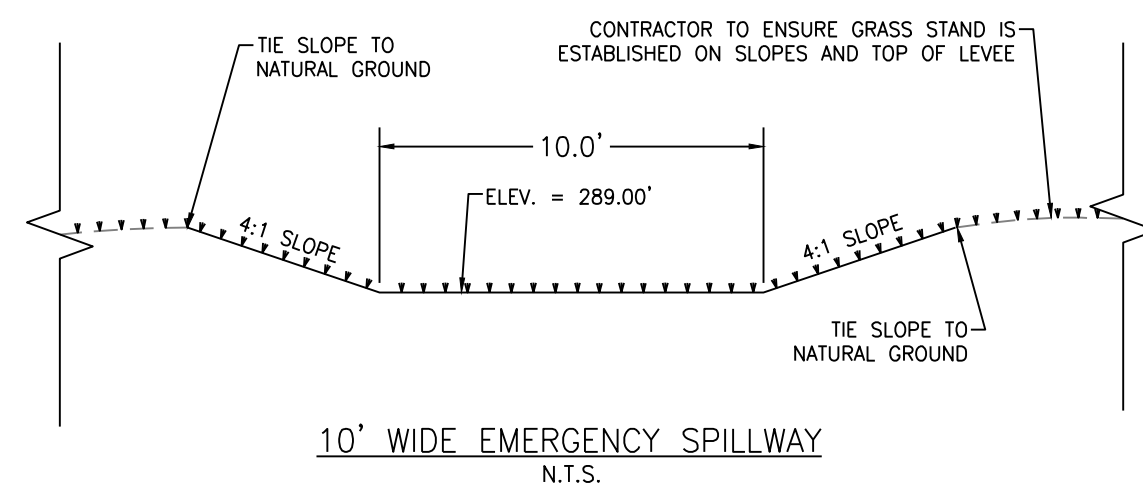
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DIVISION OF ENGINEERING
EROSION CONTROL DETAILS
LAFAYETTE COUNTY, MS

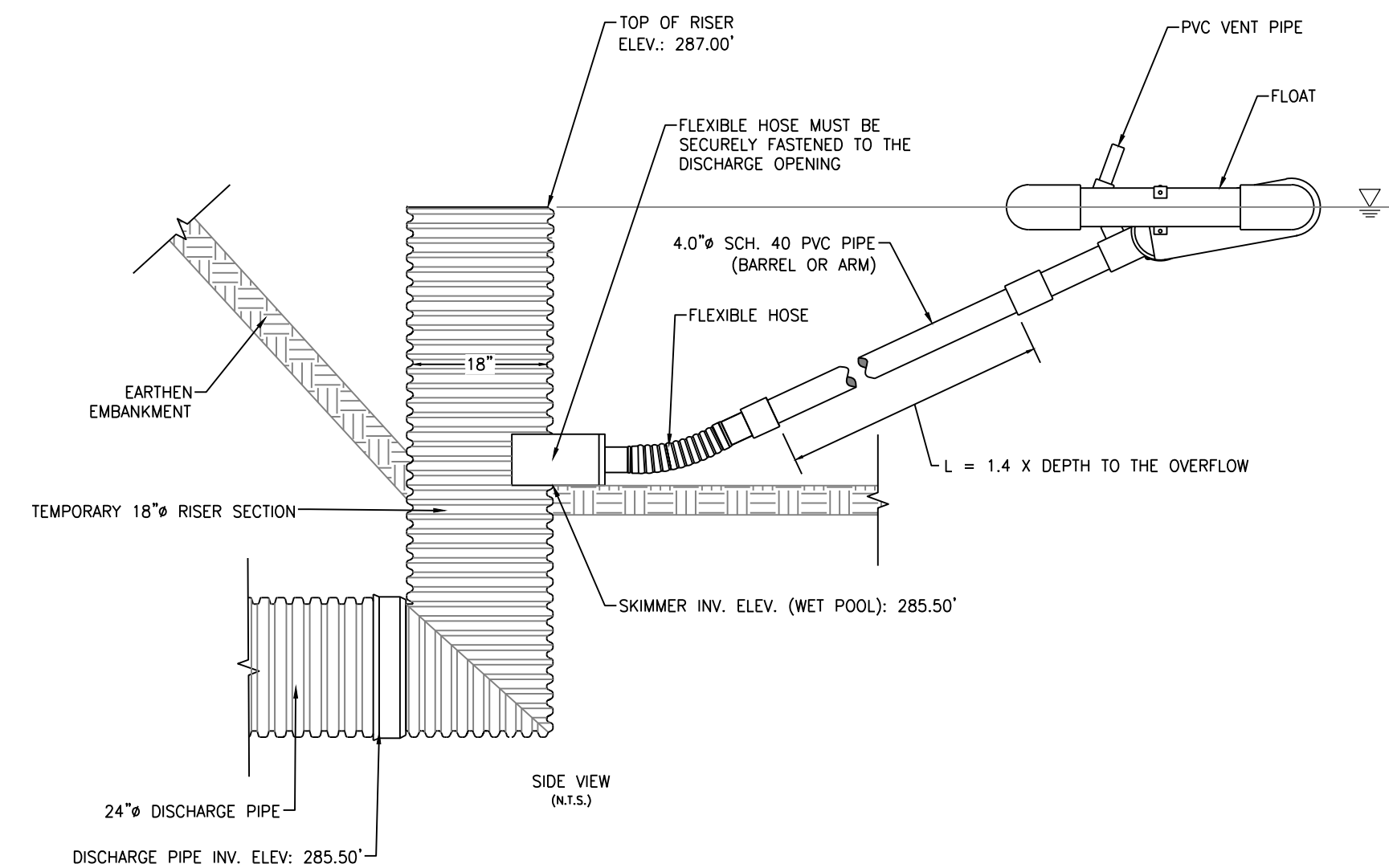
SURVEY: WILLIAMS ENG. DATE: 9/20/2022 PROJECT NO.: 1000-162
DESIGN BY: J. GRANBERRY, P.E. DATE: 5/15/2026 BOOK:
DRAWN BY: J. GRANBERRY, P.E. DATE: 5/15/2026 SCALE: N.T.S.

YOCONA RISE SUBDIVISION
OWNER: HIGHWAY 328, LLC
ENGINEER: GRANBERRY & ASSOCIATES, LLC



| EROSION CONTROL PHASE 1: SEDIMENT BASIN - DESIGN DATA | |
|--|-----------|
| TOTAL OFFSITE & ONSITE DRAINAGE AREA (ACRES): | 8.54 AC |
| DISTURBED AREA COLLECTED BY SEDIMENT BASIN: | 6.23 AC |
| TOTAL REQUIRED SEDIMENT BASIN VOLUME: | 30,744 CF |
| TOTAL SEDIMENT BASIN VOLUME AT TOP OF RISER: | 44,816 CF |
| TOTAL SEDIMENT BASIN VOLUME AT TOP OF BASIN: | 89,215 CF |
| DESIGN STORM EVENT DEPTH (INCHES): | 5.92 IN |
| PEAK FLOW FOR THE DESIGN STORM EVENT (10-YR): | 41.10 CFS |
| PEAK DISCHARGE OF BASIN FOR THE 10-YR STORM EVENT: | 17.08 CFS |
| 10-YEAR, 24-HOUR STORM ELEVATION: | 289.29 FT |
| BOTTOM OF BASIN ELEVATION: | 281.00 FT |
| EMERGENCY SPILLWAY ELEVATION: | 289.00 FT |
| POND SURFACE AREA AT EMERGENCY SPILLWAY ELEVATION: | 18,211 SF |
| OUTFALL PIPE DISCHARGE ELEVATION: | 285.50 FT |
| ELEVATION OF THE RECEIVING MEDIUM DOWNSTREAM OF THE OUTFALL: | 285.14 FT |
| DESIGN STORM ABOVE WHICH THE BASIN WILL DISCHARGE VIA THE EMERGENCY SPILLWAY: | 50-YR |
| EMERGENCY SPILLWAY SIDESLOPE: | 4:1 |
| EMERGENCY SPILLWAY WIDTH: | 10 FT |
| TOP OF EMBANKMENT ELEVATION: | 290.00 FT |
| SHORTEST DISTANCE (FLOW PATH) FROM ALL INLET(S) TO THE DEWATERING DEVICE (FT): | 208 FT |
| FLOW PATH L/W RATIO: | 2.20 |

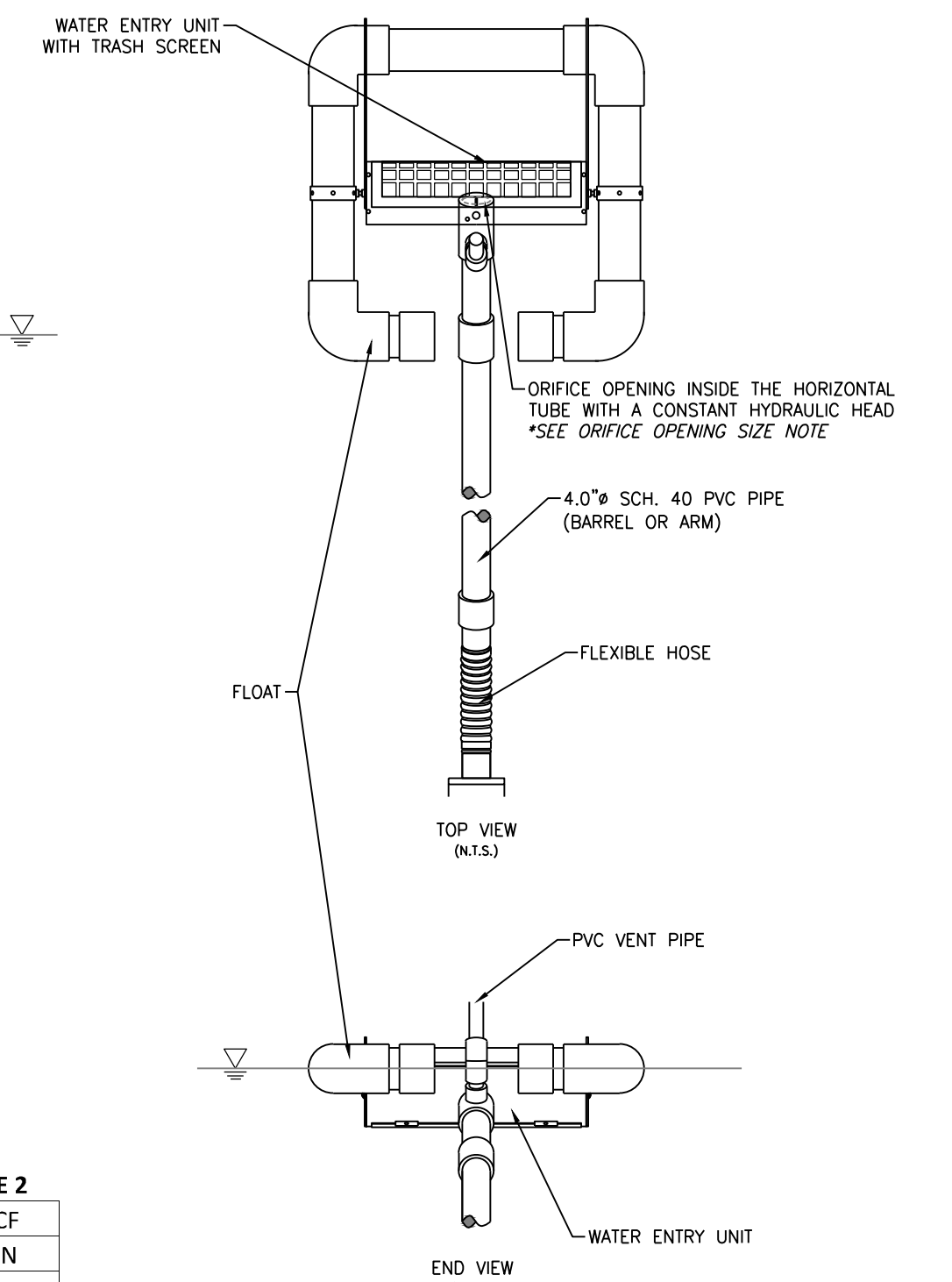
| EROSION CONTROL PHASE 2: SEDIMENT BASIN - DESIGN DATA | |
|--|-----------|
| TOTAL OFFSITE & ONSITE DRAINAGE AREA (ACRES): | 8.17 AC |
| DISTURBED AREA COLLECTED BY SEDIMENT BASIN: | 6.23 AC |
| TOTAL REQUIRED SEDIMENT BASIN VOLUME: | 29,412 CF |
| TOTAL SEDIMENT BASIN VOLUME AT TOP OF RISER: | 44,816 CF |
| TOTAL SEDIMENT BASIN VOLUME AT TOP OF BASIN: | 89,215 CF |
| DESIGN STORM EVENT DEPTH (INCHES): | 5.92 IN |
| PEAK FLOW FOR THE DESIGN STORM EVENT (10-YR): | 38.08 CFS |
| PEAK DISCHARGE OF BASIN FOR THE 10-YR STORM EVENT: | 14.57 CFS |
| 10-YEAR, 24-HOUR STORM ELEVATION: | 289.21 FT |
| BOTTOM OF BASIN ELEVATION: | 281.00 FT |
| EMERGENCY SPILLWAY ELEVATION: | 289.00 FT |
| POND SURFACE AREA AT EMERGENCY SPILLWAY ELEVATION: | 18,211 SF |
| OUTFALL PIPE DISCHARGE ELEVATION: | 285.50 FT |
| ELEVATION OF THE RECEIVING MEDIUM DOWNSTREAM OF THE OUTFALL: | 285.14 FT |
| DESIGN STORM ABOVE WHICH THE BASIN WILL DISCHARGE VIA THE EMERGENCY SPILLWAY: | 50-YR |
| EMERGENCY SPILLWAY SIDESLOPE: | 4:1 |
| EMERGENCY SPILLWAY WIDTH: | 10 FT |
| TOP OF EMBANKMENT ELEVATION: | 290.00 FT |
| SHORTEST DISTANCE (FLOW PATH) FROM ALL INLET(S) TO THE DEWATERING DEVICE (FT): | 208 FT |
| FLOW PATH L/W RATIO: | 2.20 |



| FAIRCLOTH SKIMMER DEWATERING TIME - SEDIMENT BASIN - PHASE 1 | |
|--|----------------|
| SEDIMENT BASIN VOLUME AT TOP OF RISER: | 44,816 CF |
| FAIRCLOTH SKIMMER DIAMETER: | 4.0 IN |
| FAIRCLOTH SKIMMER ORIFICE SIZE: | NO RESTRICTION |
| FAIRCLOTH SKIMMER FLOW RATE: | 16,863 CF/D |
| TOTAL DEWATERING TIME: | 2.66 D |

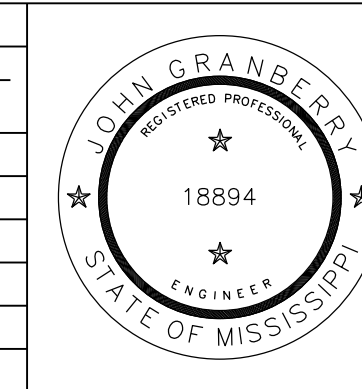
| FAIRCLOTH SKIMMER DEWATERING TIME - SEDIMENT BASIN - PHASE 2 | |
|--|----------------|
| SEDIMENT BASIN VOLUME AT TOP OF RISER: | 44,816 CF |
| FAIRCLOTH SKIMMER DIAMETER: | 4.0 IN |
| FAIRCLOTH SKIMMER ORIFICE SIZE: | NO RESTRICTION |
| FAIRCLOTH SKIMMER FLOW RATE: | 16,863 CF/D |
| TOTAL DEWATERING TIME: | 2.66 D |

FAIRCLOTH SKIMMER DETAIL - SEDIMENT BASIN
SCALE: N.T.S.



*ORIFICE OPENING SIZE NOTE:
ORIFICE OPENING SIZE SHALL VARY BETWEEN EROSION CONTROL PHASES, AS FOLLOWS:
PHASE 1 ORIFICE OPENING = 4.0 IN.
PHASE 2 ORIFICE OPENING = 4.0 IN (NO ORIFICE)

| REVISION | DESCRIPTION OF CHANGE | APPROVAL DATE |
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DIVISION OF ENGINEERING
EROSION CONTROL DETAILS -
TEMPORARY SEDIMENT BASIN #1
LAFAYETTE COUNTY, MS

SURVEY: WILLIAMS ENG. DATE: 9/20/2022 PROJECT NO.: 1000-162
DESIGN BY: J. GRANBERRY, P.E. DATE: 5/15/2026 BOOK:
DRAWN BY: J. GRANBERRY, P.E. DATE: 5/15/2026 SCALE: N.T.S.

YOCONA RISE SUBDIVISION
OWNER: HIGHWAY 328, LLC
ENGINEER: GRANBERRY & ASSOCIATES, LLC